

Futures Fire Risk Assessment

Futures Homeway, Warwick Court
 Warwick Court: NN11 4XB, - UPRN:
 2729990 / 325660 / QA Approved / Andy
 Cloke

Complete

Flagged items	2	Actions	29
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SITE NAME:

Futures Homeway, Warwick Court
 Warwick Court: NN11 4XB, -
 UPRN: 2729990, Fire Risk
 Assessments, Futures Homeway

PROPERTY IMAGE



Photo 1



Photo 2

UPRN: 2729990

JOB NUMBER: 325660

FRA COMPLETED BY: Pennington Choices Limited

FIRE RISK ASSESSOR NAME: Adrian Gallimore

INSPECTION DATE: 16 Apr 2024

REPORT STATUS: QA Approved

REASSESSMENT PRIORITY: High - 1 Year

VALID TO: (QA Use Only): 24 Apr 2025

VALIDATION DATE: (QA Use Only): 24 Apr 2024

VALIDATED BY: (QA Use Only): Andy Cloke

VALIDATOR'S SIGNATURE: (QA Use Only)

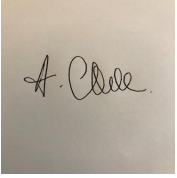


Photo 3

Flagged items & Actions

2 flagged, 29 actions

Flagged items

2 flagged, 0 actions

Assessment Risk Ratings / Premises Risk Rating

Accordingly, it is considered that the risk to life from fire at these premises is:

MODERATE

Assessment Risk Ratings

On satisfactory completion of all remedial works the risk rating of this building may be reduced to

TOLERABLE

Other actions

29 actions

Detailed Risk Assessment Part 2 / B - Smoking Policies / B2

Is the policy being adhered to and are "No smoking" signs provided in the common areas?

Assessor Findings

There was no evidence of smoking within common area. There was no 'No Smoking' signage identified at the point of entry.

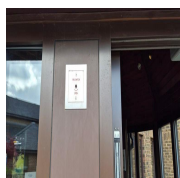


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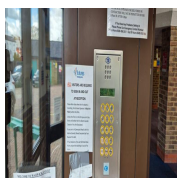


Photo 10

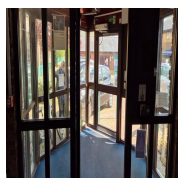


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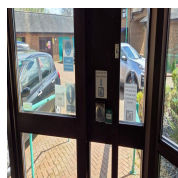


Photo 12

Open | Priority: Low | Due: 24 Apr 2025 4:50 PM BST | Created by: Adrian Gallimore

B2

Management should display 'No Smoking' signage at the point of entry.

Detailed Risk Assessment Part 2 / E - Cooking / E1

Are reasonable measures in place to prevent fires as a result of cooking, including replacing filter(where necessary)?

Assessor Findings

There is a communal kitchen with electric cooking ranges that is used regularly by a cook that comes to site to prepare meals for communal social events etc. A resident also stated that they are able to use the communal kitchen at any time. No cooking was completed at the time of assessment. No rules of use were identified. Portable electrical kitchen equipment is subject to annual PAT test.



Photo 16



Photo 17

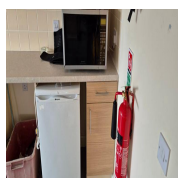


Photo 18



Photo 19

Open | Priority: High | Due: 24 May 2024 4:59 PM BST | Created by: Adrian Gallimore

E1

Management should ensure that there are specific rules provided for the use of the kitchen. Any

rules should prohibit hazardous cooking such as deep fat frying'. Any rules should be communicated to the cook and residents.

Detailed Risk Assessment Part 2 / F - Lightning / F1

Does the building have a lightning protection system?

Assessor Findings

The policy principle confirms that no lightning protection is installed and none was identified by the assessor.

Open | Created by: Adrian Gallimore

F1

It is PCL recommendation that advice is sought from a competent person to determine whether lightning protection is required or not for the building in accordance with BS EN 62305-2:2012.

Detailed Risk Assessment Part 2 / G - Housekeeping / G1

Are combustible materials kept away from any sources of ignition, including gas and electrical intake cupboards?

Assessor Findings

No combustible materials in proximity to ignition sources were identified within common areas however, there are plant / intake rooms that were not accessible. It was not possible to establish if there are any combustible materials stored in proximity of ignition sources within.

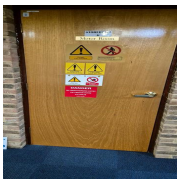


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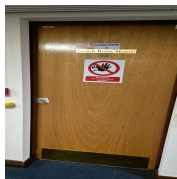


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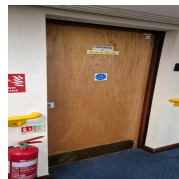


Photo 22



Photo 23

Open | Priority: Medium | Due: 24 Jul 2024 5:06 PM BST | Created by: Adrian Gallimore

G1

Management should inspect plant rooms / electrical intake rooms to ensure that combustible materials are not stored in proximity of ignition sources within.

Detailed Risk Assessment Part 2 / G - Housekeeping / G3

Are mobility scooters or electric vehicles stored in the means of escape? If yes has an assessment been undertaken in line with the NFCC "Mobility Scooter Guidance for Residential Buildings"?

Assessor Findings

There are storage sheds located externally within the rear communal garden for storing mobility scooters however, a scooter was stored in the common area and one was blocking an external escape route. A resident stated that the owner often charges the scooter within the common area. It was not possible to establish battery type of the equipment or if a suitable risk assessment has been completed in line with NFCC Mobility Scooter Guidance for Residential Buildings.

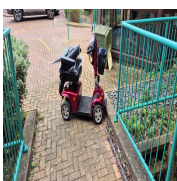


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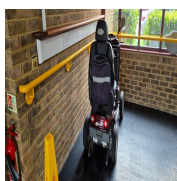


Photo 25



Photo 26

Open | Priority: Medium | Due: 24 Jul 2024 5:34 PM BST | Created by: Adrian Gallimore

G3

Mobility scooters stored / charged within common areas should be removed and exit routes kept clear at all times. Management should conduct a suitable and sufficient risk assessment in line with NFCC Guidance for Residential Buildings. Any risk assessment completed should take into account any fire risks associated with Lithium Ion batteries where applicable.

Detailed Risk Assessment Part 2 / K - Means of Escape / K8

Are escape routes separated where appropriate?

Assessor Findings

Escape routes including corridors and stairways are separated by fire doors. All separating doors have auto-closures, intumescent strips and reinforced glass fitted however, doors are not labelled and it was not possible to establish fire rating. Gaps are excessive to fire doors labelled WC027 and WC021.

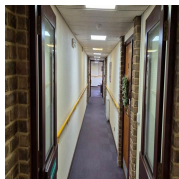


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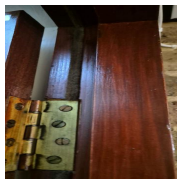


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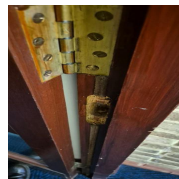


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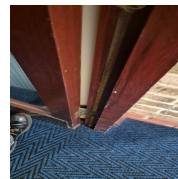


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Photo 37

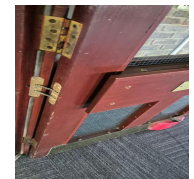


Photo 38



Photo 39



Photo 40

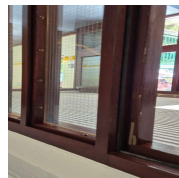


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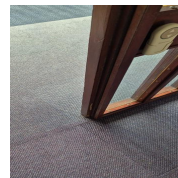


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Photo 43

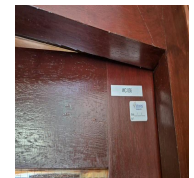


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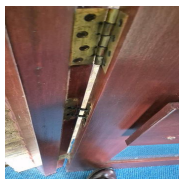


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Photo 46

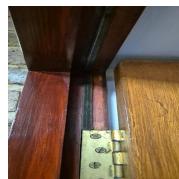


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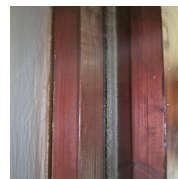


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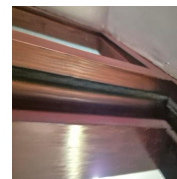


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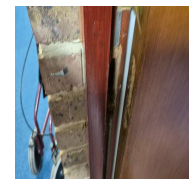


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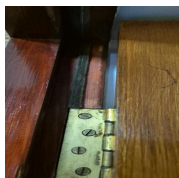


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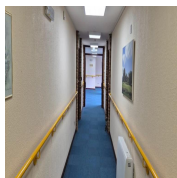


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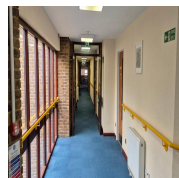


Photo 53



Photo 54

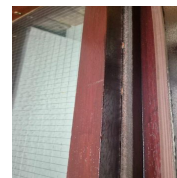


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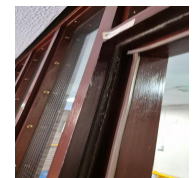


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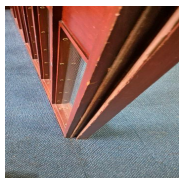


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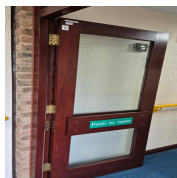


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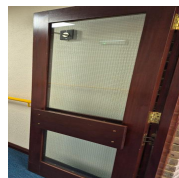


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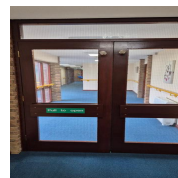


Photo 60



Photo 61



Photo 62

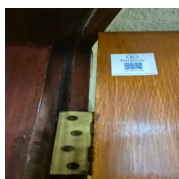


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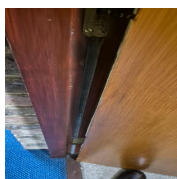


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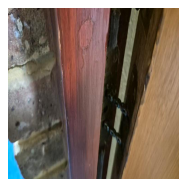


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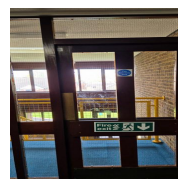


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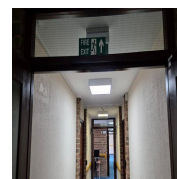


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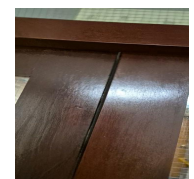


Photo 68



Photo 69



Photo 70

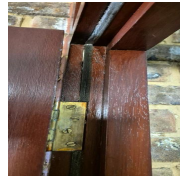


Photo 71



Photo 72



Photo 73



Photo 74



Photo 75

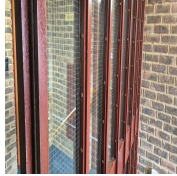


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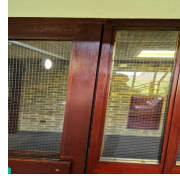


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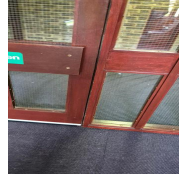


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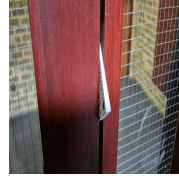


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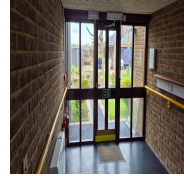


Photo 80



Photo 81

Open | Priority: Medium | Due: 24 Jul 2024 5:50 PM BST | Created by: Adrian Gallimore

K8

Management should confirm fire rating to all separating fire doors. Where fire rating cannot be confirmed, doors should be replaced with self closing fire door sets to FD30s specification. Management should repair fire doors WC27 and WC021 to ensure that gaps do not exceed 4mm tolerance. Any installation or repairs should only be completed by a certified fire door contractor.

Detailed Risk Assessment Part 2 / K - Means of Escape / K12

Are there any other issues that could affect the means of escape, for example plastic conduit/loose cables not secured by fire rated fastening?

Assessor Findings

There is some conduit present to common areas and it was not possible to confirm that the requirements of Regulation 521.10.202 of the BS 7671 - 18th Edition of The IET Wiring Regulations, which requires all cables to be adequately supported using non-combustible fixings to prevent premature collapse in the event of a fire. The new regulation is not applied retrospectively so any wiring systems fitted before 2019 do not need to be immediately updated. Any new installation or additions and alterations to existing systems, including temporary wiring, have to comply with the regulations.

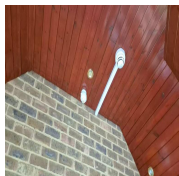


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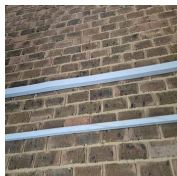


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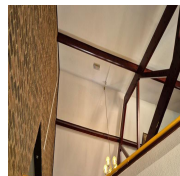


Photo 95



Photo 96



Photo 97



Photo 98

Open | Created by: Adrian Gallimore

K12

Management is to consider the requirements of the Regulation 521.10.202 of the BS 7671 - 18th Edition The IET Wiring Regulations which requires all cables to be adequately supported using non-combustible fixings to prevent premature collapse in the event of a fire albeit not retrospective and seek the advice of a suitably qualified competent person or organisation and undertake any remediation identified by the aforementioned competent person or organisation.

Are the sample inspection flat entrance door or doors in good condition and appropriately fire rated?

Assessor Findings

Flats 3, 7, 38 and 40 were sampled. Doors are not labelled and it was not possible to establish fire rating. No self closure device is fitted to flat 40. It was not possible to establish fire rating or condition of other dwelling doors as no further flats were sampled.

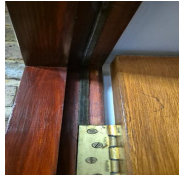


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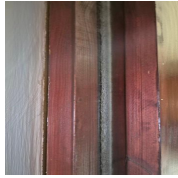


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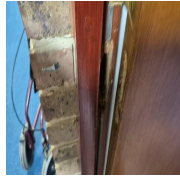


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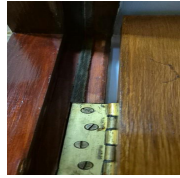


Photo 102



Photo 103

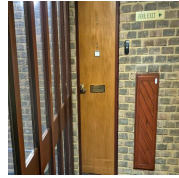


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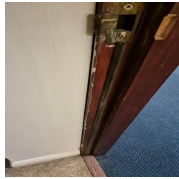


Photo 105



Photo 106

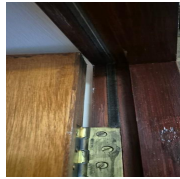


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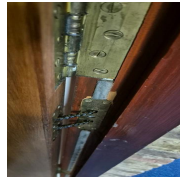


Photo 108



Photo 109

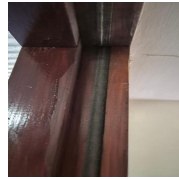


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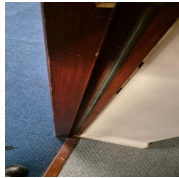


Photo 111

Open | Priority: Medium | Due: 24 Jul 2024 6:03 PM BST | Created by: Adrian Gallimore

L1

Management should inspect all dwelling doors to establish fire rating and condition. Where doors are not fire rated to a minimum of FD30s specification or where defects are identified, doors should be repaired or replaced by certified self closing fire doors to a minimum of FD30s specification. Any installation or repair should only be conducted by a certified third-party fire door contractor.

Are all common area fire door and frames in good condition and appropriately fire rated?

Assessor Findings

In addition, to separating doors and sub-dividers fire doors are installed to risk rooms such as laundry and kitchen. Doors are not labelled and it was not possible to establish fire rating. Intumescent strips or cold seals and self closure / auto closures are fitted.

Open | Priority: Medium | Due: 24 Jul 2024 6:07 PM BST | Created by: Adrian Gallimore

M1

As with recommendations to K8 and K9, management should inspect all other common area fire doors to establish fire rating. Where doors are not fire rated to a minimum of FD30s specification, doors should be replaced with certified self closing fire door sets to a minimum of FD30s specification.

Emergency lighting is provided

If emergency lighting is provided, is the coverage sufficient and in good repair? (Internal and external)

throughout the escape routes and the coverage is sufficient. it appears to be in accordance with BS 5266 Pt 1 2016 (See limitations statement)

Defective emergency light units were identified to EL 73 and EL3.



Photo 112

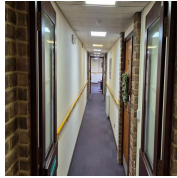


Photo 113



Photo 114



Photo 115

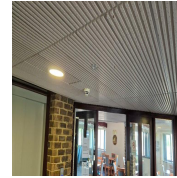


Photo 116



Photo 117

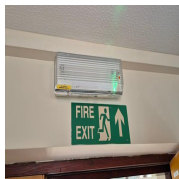


Photo 118



Photo 119

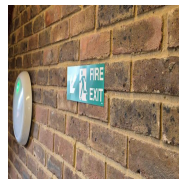


Photo 120



Photo 121

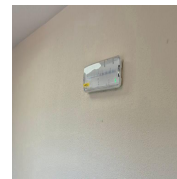


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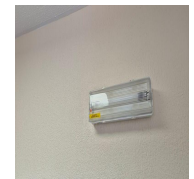


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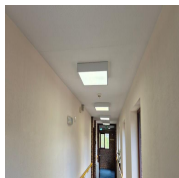


Photo 124



Photo 125

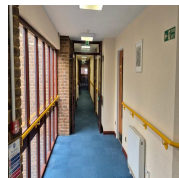


Photo 126

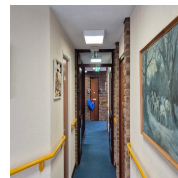


Photo 127



Photo 128

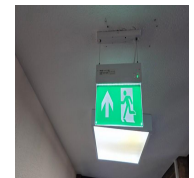


Photo 129

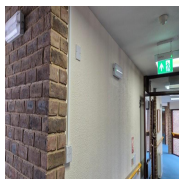


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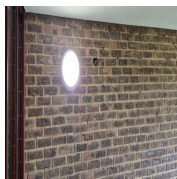


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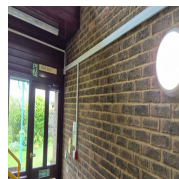


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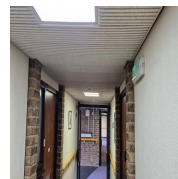


Photo 133



Photo 134



Photo 135



Photo 136

Open | Priority: Medium | Due: 24 Jul 2024 6:11 PM BST | Created by: Adrian Gallimore

N1

Management should inspect all emergency lights and repair any defective lights identified.

Detailed Risk Assessment Part 2 / P - Means of Giving Warning in Case of Fire / P1

Is a reasonable fire detection and fire alarm system provided in the common areas, where necessary?

Assessor Findings

The building is fitted with a commercial fire detection and warning system however, the assessor was not able to establish the specification of install as remote areas such as plant / electrical intake rooms were not accessible (refer to P2). The system includes a fire panel at the main entrance, heat detectors in the kitchen and laundry, and smoke detectors in all other areas which is considered suitable for the type and use of property. The disablement light was showing on the alarm panel. Linked detection and hard-wired detection is installed to the dwellings sampled. It is presumed that the alarm system is to BS5838: L2 specification.



Photo 163

Open | Priority: High | Due: 24 May 2024 9:04 PM BST | Created by: Adrian Gallimore

P1

Management should investigate the disablement fault light to the alarm panel and ensure that it is repaired as required. Management should also confirm the specification of alarm installation.

Detailed Risk Assessment Part 2 / P - Means of Giving Warning in Case of Fire / P2

If installed, is the common area AFD adequate for the occupancy and fire risk?

Assessor Findings

Smoke detection is installed to all common areas with heat detection installed to the kitchen and laundry. There were remote areas such as plant rooms that were not accessible and it was not possible to establish if detection is installed to these areas. AFD is installed to the accessible part of the roof space.

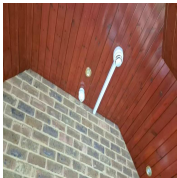


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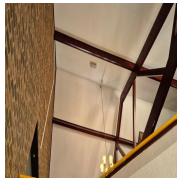


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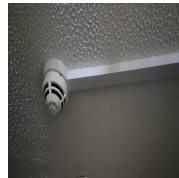


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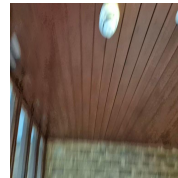


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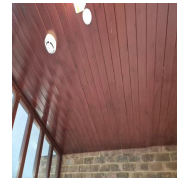


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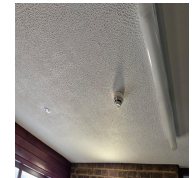


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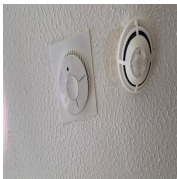


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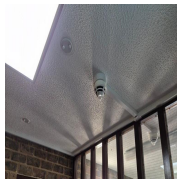


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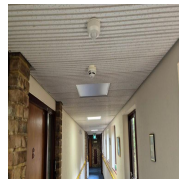


Photo 172

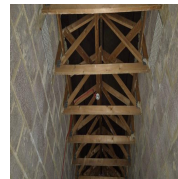


Photo 173

Open | Priority: Medium | Due: 24 Jul 2024 9:09 PM BST | Created by: Adrian Gallimore

P2

Management should confirm if AFD is installed to remote areas such as plant and intake room. Where AFD is not installed to these areas management should consider upgrading the system to include AFD to these area. Any upgrade should only be completed by an approved fire alarm installer.

Detailed Risk Assessment Part 2 / P - Means of Giving Warning in Case of Fire / P6

Where appropriate, are there adequate arrangements for silencing and resetting an alarm condition?

Assessor Findings

It was not possible to establish the arrangements for silencing and resetting the alarm system as the information was not available at the time of assessment. The duty member of staff seen at the time of arrival confirmed that the alarm is monitored by an alarm receiving centre.

Open | Priority: Medium | Due: 24 Jul 2024 2:49 PM BST | Created by: Adrian Gallimore

P6

Management should confirm the arrangements for silencing and resetting the alarm system and

ensure that arrangements are communicated to residents.

Detailed Risk Assessment Part 2 / P - Means of Giving Warning in Case of Fire / P7

If applicable, is a separate domestic hard-wired smoke/heat alarm within the flats installed to a suitable standard?

Assessor Findings

Refer to P1. It is understood that the building is a sheltered accommodation facility. For all such premises, suitable fire detection and warning systems should be installed within individual flats. In accordance with current, established guidance, it is recommended that fire detection and warning systems within individual flats should meet the recommendations for a Category LD1 system, as defined in BS 5839-6, such that hallways are covered, along with all rooms, other than toilets, shower rooms and bathrooms. Linked detection and hard-wired detection is installed to dwellings sampled.



Photo 175

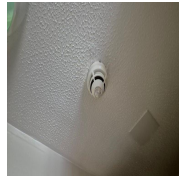


Photo 176



Photo 177



Photo 178

Open | Priority: Medium | Due: 24 Jul 2024 2:53 PM BST | Created by: Adrian Gallimore

P7

Management to confirm that each flat is fitted with BS 5839-6 category LD1 system. Where flats do not meet this standard, the alarm system should be upgraded in accordance with then standard. Any alarm upgrade should only be completed by an accredited fire alarm installation engineer.

Detailed Risk Assessment Part 2 / Q - Measures to Limit Fire Spread and Development / Q1

Is there adequate levels of compartmentation between floors and between flats and the common escape routes?

Assessor Findings

Walls to the common area are exposed brick and ceilings to the first floor are plastered. Some penetrations were identified to brick work close to the separating door by flat 36. Numerous compartmentation issues were identified above suspended ceilings to the ground / lower ground floors. Refer to Q2. In addition, wooden cladding is fitted to the interior and the assessor was not able to confirm fire rating. Refer to Q7.



Photo 179

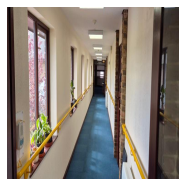


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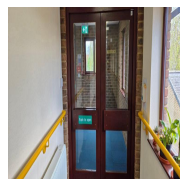


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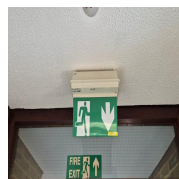


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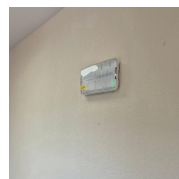


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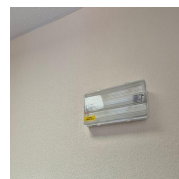


Photo 184

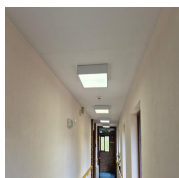


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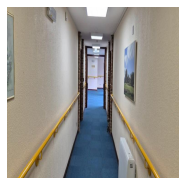


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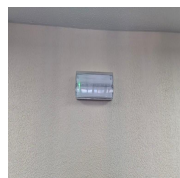


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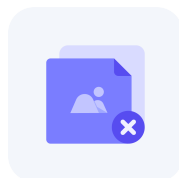


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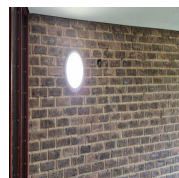


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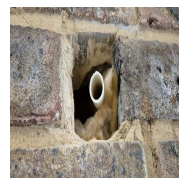


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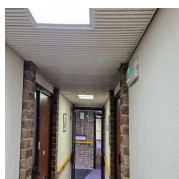


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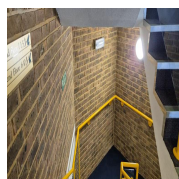


Photo 192



Photo 193

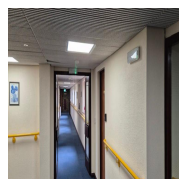


Photo 194

Open | Priority: Medium | Due: 24 Jul 2024 3:03 PM BST | Created by: Adrian Gallimore

Q1

Management should fire stop penetrations to the wall (close to flat 36) with fire rated building materials.

Detailed Risk Assessment Part 2 / Q - Measures to Limit Fire Spread and Development / Q2

Are hidden voids appropriately enclosed and/or fire-stopped? (consider above suspended ceilings)

Assessor Findings

Suspended ceiling tiles are fitted to the ground / lower ground floors. Tiles were sampled lifted in numerous locations and those lifted were found to be clipped to soffits above however, the assessor was not able to confirm this in all locations. Some ceiling tiles were missing on lower ground floors. In addition, compartmentation issues were identified above separating fire doors and sub-dividers where penetrations were noted throughout. The assessor was not able to confirm fire rating of ceiling tiles.

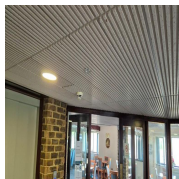


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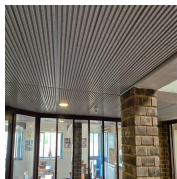


Photo 196



Photo 197

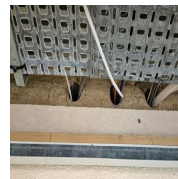


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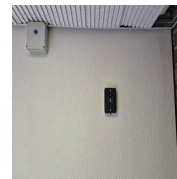


Photo 199



Photo 200



Photo 201

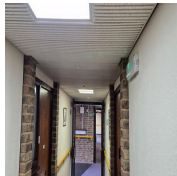


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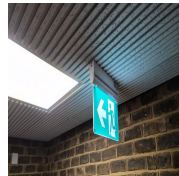


Photo 203



Photo 204

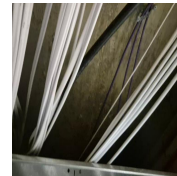


Photo 205



Photo 206

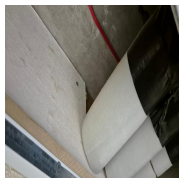


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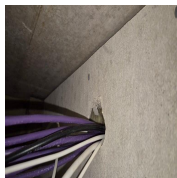


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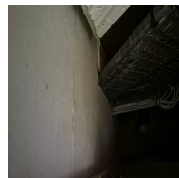


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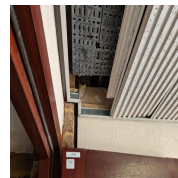


Photo 210



Photo 211



Photo 212

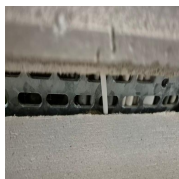


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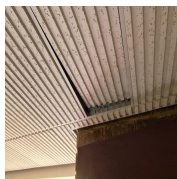


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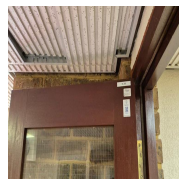


Photo 215

Open | Priority: Medium | Due: 24 Jul 2024 3:13 PM BST | Created by: Adrian Gallimore

Q2

Management should conduct a comprehensive survey above suspended ceiling tiles to ensure that compartmentation is adequate and any penetrations identified are suitably fire stopped with fire rated building materials. Any compartmentation works / fire stopping should only be completed by a certified third-party contractor.

Open | Priority: Medium | Due: 24 Jul 2024 3:11 PM BST | Created by: Adrian Gallimore

Q2

Management should confirm fire rating of ceiling tiles to ensure that they are a minimum of 30 minutes fire rated. Where tiles do not conform they should be replaced with certified of 30 minutes fire rating. Management should also ensure that all tile supports are appropriately clipped to soffits above. Any missing, loose or poorly seated tiles should be replaced as required.

Detailed Risk Assessment Part 2 / Q - Measures to Limit Fire Spread and Development / Q4

Is compartmentation maintained in the roof space?

Assessor finding

There was only a small area of the roof space accessible to the assessor and compartmentation appeared adequate in this area (head and shoulder inspection only). It was not possible to establish the level of compartmentation within the remainder of the roof space.

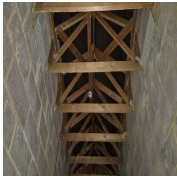


Photo 217

Open | Priority: Medium | Due: 24 Jul 2024 3:23 PM BST | Created by: Adrian Gallimore

Q4

Management should inspect the remainder of the roof space to ensure that compartmentation within is adequate and maintained

Detailed Risk Assessment Part 2 / Q - Measures to Limit Fire Spread and Development / Q5

Are electrics, including embedded meters, enclosed in fire rated construction?

Assessor Findings

There are plant rooms / lift motor rooms to the lower ground floor stairway which were not accessible. There is also a (presumed) plant room next to the waste collection area that was not accessible. It was not possible to establish the level of compartmentation, ignition risks within or if doors are fire rated. There are embedded meter enclosures throughout that have wooden fronts but are lined with fire rated materials however, those examined had penetrations within.



Photo 218

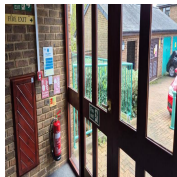


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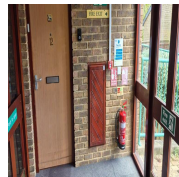


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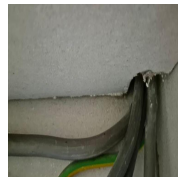


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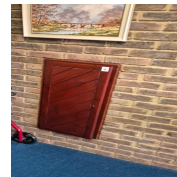


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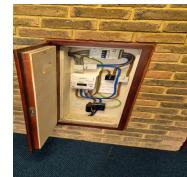


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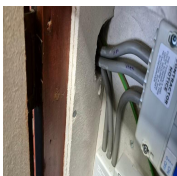


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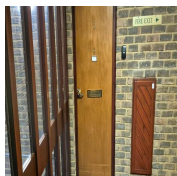


Photo 225

Open | Priority: Medium | Due: 24 Jul 2024 3:34 PM BST | Created by: Adrian Gallimore

Q5

Management should inspect all embedded meter enclosures to ensure that they are fire rated to a minimum of FD30s specification. Any penetrations identified within should be fire stopped with fire rated building materials.

Open | Priority: Medium | Due: 24 Jul 2024 3:32 PM BST | Created by: Adrian Gallimore

Q5

Management should inspect plant rooms to ensure that compartmentation within is adequate. Doors to plant rooms should be fire rated to a minimum of FD30s specification. Where doors do not conform, they should be replaced with certified self-closing fire doors to FD30s specification. Any penetrations identified within should be fire stopped with fire rated building materials. Any work required should only be completed by a certified third-party contractor.

Detailed Risk Assessment Part 2 / Q - Measures to Limit Fire Spread and Development / Q7

Is there reasonable limitation of linings to escape routes that might promote fire spread?

Assessor Findings

Wooden cladding is fitted to parts of the common area. It was not possible to establish fire rating or materials. In addition, a notice board with paper notices is located on the escape route.

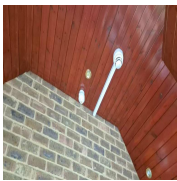


Photo 226

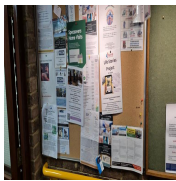


Photo 227

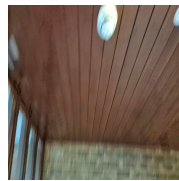


Photo 228

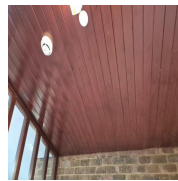


Photo 229

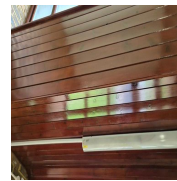


Photo 230

Open | Priority: Medium | Due: 24 Jul 2024 3:40 PM BST | Created by: Adrian Gallimore

Q7

Paper notices on the notice board should either be laminated or the notice board should be replaced with Perspex covered type.

Open | Priority: Medium | Due: 24 Jul 2024 3:39 PM BST | Created by: Adrian Gallimore

Q7

Management should confirm if wooden cladding is fire rated with a view to replace it with fire rated materials where it is found not to conform.

Detailed Risk Assessment Part 2 / Q - Measures to Limit Fire Spread and Development / Q8

Are soft furnishings in common areas appropriate to limit fire spread/growth?

Assessor Findings

Soft furnishings on the whole are labelled to confirm that they conform to BS7176, however, there is one upholstered bench that is not labelled and it was not possible to establish fire rating of materials.



Photo 231



Photo 232

Open | Priority: Medium | Due: 24 Jul 2024 3:44 PM BST | Created by: Adrian Gallimore

Q8

Management should confirm if the upholstered bench to the front of the premise adjacent to the

entrance is fire rated to BS7176. Where this does not conform, seat covering should be replaced with types that meet the standard.

Detailed Risk Assessment Part 2 / R - Fire Extinguishing Appliances / R1

If required, is there reasonable provision of accessible portable fire extinguishers?

Assessor Findings

Foam and CO2 units are installed to all compartments in accordance with BS5306: Part 8. Extinguishers are appropriately mounted with correct signage displayed. Extinguishers are maintained under service contract with Harmony. The last inspection was completed 03/24. Signage is not displayed at fire points to state that extinguishers should only be used by trained persons.



Photo 233

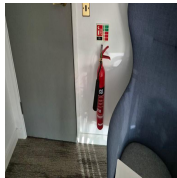


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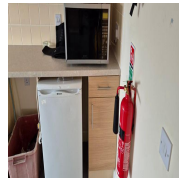


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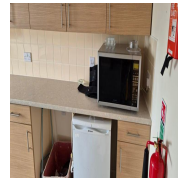


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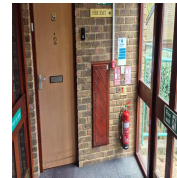


Photo 237

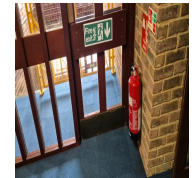


Photo 238

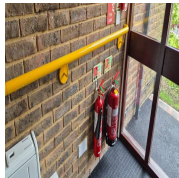


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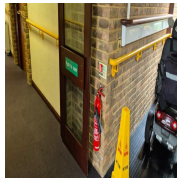


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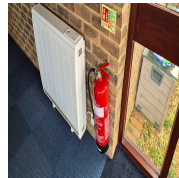


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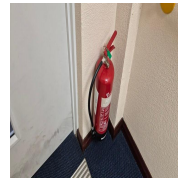


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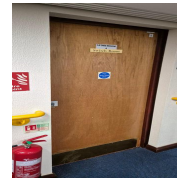


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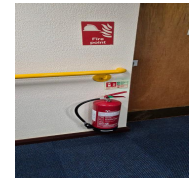


Photo 244

Open | Priority: Low | Due: 24 Apr 2025 3:51 PM BST | Created by: Adrian Gallimore

R1

Management should display signs at fire points to state 'only to be used by trained persons'.

Detailed Risk Assessment Part 2 / T - Procedures and Arrangements / T2

Has a competent person(s) been appointed to assist in undertaking the preventative and protective measures including in house checks?

Unknown.

It was not possible to ascertain if there is a competent person appointed for this property.

Open | Created by: Adrian Gallimore

T2

Management should confirm there is a competent person in place to undertake the preventative and protective measures for this property.

Detailed Risk Assessment Part 2 / T - Procedures and Arrangements / T6

Are there adequate procedures in place for the evacuation of disabled people who are likely to be present?

Assessor Findings

It was not possible to establish if there are disabled residents however, wheelchairs and mobility scooters were identified. It was not possible to establish if there are adequate procedures in place for disabled / persons that have mobility issues.

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T6

Management should establish if there are any persons with disabilities or special needs that may require assistance, require a PEEPs and/or PCFRA. An appropriate procedure should be put in place once a PEEPs or PCFRA has been completed.

Detailed Risk Assessment Part 2 / T - Procedures and Arrangements / T7

Are staff nominated and trained on the use of fire extinguishing appliances?

Assessor Findings

There is no permanent member of staff present however, there is a member of staff that attends site regularly. There are also touchdown staff that may attend from time to time. It was not possible to establish the company policy on the use of fire extinguishers or if staff have received training.

Open | Priority: Low | Due: 24 Apr 2025 4:03 PM BST | Created by: Adrian Gallimore

T7

Management should confirm the policy on extinguisher use. Where staff are expected to use extinguishers, they should be appropriately trained with adequate records maintained.

Detailed Risk Assessment Part 2 / W - Records / W1

Is all routine testing and staff training including fire drills suitably recorded and available for inspection?

Assessor Findings

It was not possible to establish if there are regular fire drills as the information was not available at the time of assessment.

Open | Priority: Low | Due: 24 Apr 2025 4:07 PM BST | Created by: Adrian Gallimore

W1

Management should ensure that there are regular fire evacuation drills (minimum of twice yearly) and that adequate records are maintained.

Detailed Risk Assessment Part 2 / Y - Engagement with Residents / Y1

Has all Fire Safety information & procedures been disseminated to the residents?

Assessor Findings

It was not possible the level of fire safety information disseminated to residents as the information was not available at the time of assessment.

Open | Priority: Low | Due: 24 Apr 2025 4:12 PM BST | Created by: Adrian Gallimore

Y1

Management should ensure that all residents have received the relevant fire safety information that may already be in place and that any updated fire safety information is subsequently disseminated to residents as required.

Detailed Risk Assessment Part 1

1. General Information

1.1 FRA Type:	Type 1 (Non-Destructive)
1.2 Property Type:	Purpose Built Sheltered Accommodation
1.3 Property Designation:	Sheltered Living
1.4 Responsible Person:	Lindsey Williams - CEO Futures Housing Group
1.5 No of Floors:	4
1.6 No of Flats (if applicable):	40
1.7 Ground Floor Area (m2):	1770
1.8 Total Area of all Floors (m2)	7080

1.9 Building Description:

A purpose built sheltered block for independent living adults of over 55 years old. The entrance leads to ground floor lobby with stairway and communal sitting room opposite the entrance. There are 4 floor to the premise which includes ground floor, first floor, lower ground floor 1 and lower ground floor 2. There is a communal kitchen and laundry to the ground floor.

There are a total of 40 flats which includes: Ground Floor flats 11&12, 13-25, First Floor 26-40, Lower Ground Floor 1 flats 1-5 and Lower Ground Floor 2 6-10.

There are 4 stairways and 8 final exits leading to the external environment.

1.10 Building Construction:

Traditional brick built property with pitched, tiled roof. Internal walls of the common area are exposed brick. Ceilings to the first floor are emulsion painted plastered with suspended ceilings to the ground and lower ground floor. Stairs and floors are of solid construction.

1.11 Extent of common areas:

Entrance lobby, stairways and landings. There is a communal sitting room, kitchen and laundry.

1.12 Areas of the building to which access was not available:

Plant rooms, electrical meter rooms and lift motor rooms were not accessible. There are some service risers to common areas that were not accessible.

1.13 If applicable, state which flats were sample inspected:

Flats 3, 7, 40 and 38 were sampled.

2. The Occupants

Partially Managed Building -

Manager or Senior Staff Not
Onsite Regularly

2.1 Management Extent

The premise is managed by a FHG member of staff periodically base in the site manager's office to the ground floor. The office is also used as a 'touchdown' office for other FHG staff members that may be working within the area periodically. Staff occupancy is not likely to exceed 4-5 persons. There is also a contract cleaner that attends 2-3 times per week.

2.2 Details of any onsite Management

There is one member of staff that works at the premise on a rota basis and who also covers other FHG properties within the area.

2.3 Person managing fire safety in the premises

Lindsey Williams, CEO Futures Housing Group.

2.4 Person consulted during the fire risk assessment

A duty member of staff was consulted in part during the assessment in order to gain basic site information. The member of staff was not present on site for the entirety of the FRA.

2.5 Number of occupants (maximum estimated)

The duty member of staff stated that there are 40 flats on site with 1 occupant per dwelling with the exception of 1 flat which is occupied by 2 persons (42 persons total)

2.6 Approximate maximum number of employees at any one time

Refer to 2.1.

2.7 Number of members of the public (maximum estimated)

Low numbers expected.

2.8 Identify any people who are especially at risk (Sleeping Occupants, Disabled Occupants, Occupants in remote areas and Lone Workers, Young Persons, Others)

Sheltered accommodation for older people (sleeping occupants), it is conceivable that varying degrees of mobility exists amongst residents and some may suffer from mobility or mental impairments or ailments in the form of long term illness. It is unlikely that there will be children on site unless they are visiting elderly family members. Any children present are likely to be accompanied by a parent or guardian.

3. Fire Safety Legislation

3.1 The following fire safety legislation applies to these premises

Regulatory Reform (Fire Safety)
Order 2005

3.2 The above legislation is enforced by

Northamptonshire Fire and
Rescue Service

3.3 Other key fire safety legislation (other than Building Regs 2000)

Housing Act 2004

3.4 The other legislation referred to above is enforced by

Local Governing Authority.

NFCC - Specialised Housing

3.5 Guidance used as applicable to premises and occupation

Guidance

3.6 Is there an alteration or enforcement notice in force?

Unknown

The assessor was not aware of any fire alteration or enforcement notices regarding this premises.

3.7 Fire loss experience (since last FRA)

Unknown

The assessor was not made aware of any historic fire loss involving this premises. There was no evidence of fire loss or damage at time of the assessment.

Detailed Risk Assessment Part 2

29 actions

A - Electrical Ignition Sources

A1

Is the fixed electrical installation periodically inspected and tested, (include dates if known)?

Assessor Finding

Electrical plant rooms were not accessible at the time of assessment. It was not possible to establish the date of the last fixed wiring test. Refer to Policy Principle.

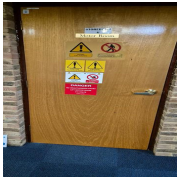


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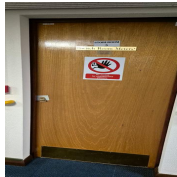


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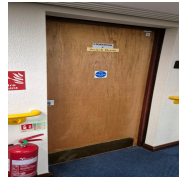


Photo 6

Policy Principle: FHG complete Fixed wire testing in line with current regulations every 5 years and complete an annual visual inspection on all properties.

A2

Is PAT testing in common areas carried out?

Assessor Findings

Portable electrical appliances are suitably labelled to confirm that they were last tested in January 2024.

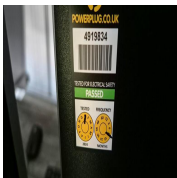


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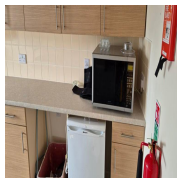


Photo 8

Policy Principle: PAT testing is complete at the time of the visual inspection as mentioned above. All items in the communal areas will be tested.

A3

Is there a policy for personal electrical appliances (consider restrictions of communal supply points such as outlets and T pin outlets)?

See Policy principle

Policy Principle: PAT testing is complete at the time of the visual inspection as mentioned above. All items in the communal areas will be tested.

A4

Is the use of adapters and leads limited?

None noted as being in use at the time of assessment.

A5

Are there any PV cells installed and do they have the appropriate isolation systems and signage to assist the fire and rescue service?

No Photovoltaic, (PV), cells were identified at this address.

B - Smoking Policies

1 action

B1

Are there suitable arrangements to prevent fire as a result from smoking?

In line with current UK legislation, no smoking is permitted in the common or landlord controlled areas. Resident must either smoke within their own flat, or outside of the block.

Policy Principle: No smoking policy in all communal areas- signage displayed.

B2

1 action

Is the policy being adhered to and are "No smoking" signs provided in the common areas?

Assessor Findings

There was no evidence of smoking within common area. There was no 'No Smoking' signage identified at the point of entry.



Photo 9

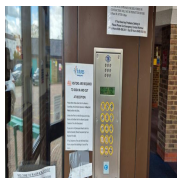


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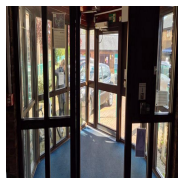


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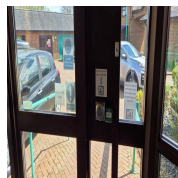


Photo 12

Open | Priority: Low | Due: 24 Apr 2025 4:50 PM BST | Created by: Adrian Gallimore

B2

Management should display 'No Smoking' signage at the point of entry.

Action/Recommendation Required?

Yes

Action Priority:

Low - 12 Months

C - Arson

C1

Are premises secure against arson by outsiders? (Please state how)

All of the entrances into the building are secured locked shut. They can only be opened from outside by the resident's fobs/keys, entryphone system or Fire override.



Photo 13



Photo 14

C2

Are bins secured or fire loading stored in a suitable location? (Please state bin type, location, if and how it is secured)

Assessor Finding

There is a dedicated communal waste room located away from the building.

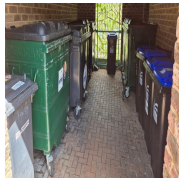


Photo 15

D - Portable Heaters and Installations

D1

If used, is the use of portable heaters regarded as safe?

No portable Heaters are used within the premises.

D2

Are fixed heating systems maintained annually?

Assessor Findings

It was not possible to establish the date of the last fixed heating system as the information was not available at the time of assessment. Refer to Policy Principle.

Policy Principle: All Safety inspections carried out annually by qualified persons.

E - Cooking

1 action

E1

1 action

Are reasonable measures in place to prevent fires as a result of cooking, including replacing filter(where necessary)?

Assessor Findings

There is a communal kitchen with electric cooking ranges that is used regularly by a cook that comes to site to prepare meals for communal social events etc. A resident also stated that they are able to use the communal kitchen at any time. No cooking was completed at the time of assessment. No rules of use were identified. Portable electrical kitchen equipment is subject to annual PAT test.



Photo 16

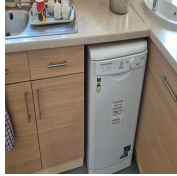


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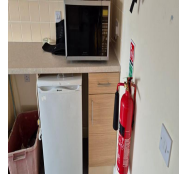


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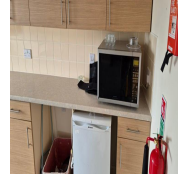


Photo 19

Open | Priority: High | Due: 24 May 2024 4:59 PM BST | Created by: Adrian Gallimore

E1

Management should ensure that there are specific rules provided for the use of the kitchen. Any rules should prohibit hazardous cooking such as deep fat frying'. Any rules should be communicated to the cook and residents.

Action/Recommendation Required?

Yes

Action Priority:

High - 1 Month

F - Lightning

1 action

F1

1 action

Does the building have a lightning protection system?

Assessor Findings

The policy principle confirms that no lightning protection is installed and none was identified by the assessor.

Open | Created by: Adrian Gallimore

F1

It is PCL recommendation that advice is sought from a competent person to determine whether lightning protection is required or not for the building in accordance with BS EN 62305-2:2012.

Policy Principle: No lightning protection policy in place

Action/Recommendation Required?

Yes

Action Priority:

Recommendation - No Timescale

G - Housekeeping

2 actions

G1

1 action

Are combustible materials kept away from any sources of ignition, including gas and electrical intake cupboards?

Assessor Findings

No combustible materials in proximity to ignition sources were identified within common areas however, there are plant / intake rooms that were not accessible. It was not possible to establish if there are any combustible materials stored in proximity of ignition sources within.

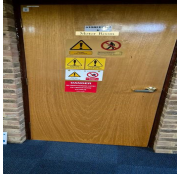


Photo 20



Photo 21

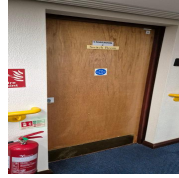


Photo 22



Photo 23

Open | Priority: Medium | Due: 24 Jul 2024 5:06 PM BST | Created by: Adrian Gallimore

G1

Management should inspect plant rooms / electrical intake rooms to ensure that combustible materials are not stored in proximity of ignition sources within.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

G2

Are the escape routes kept clear of items combustible materials or waste and free of any trip hazards?

Assessor Findings

At the time of assessment escape routes were clear with the exception of a mobility scooter blocking an external escape route. refer to G3.

G3

1 action

Are mobility scooters or electric vehicles stored in the means of escape? If yes has an assessment been undertaken in line with the NFCC "Mobility Scooter Guidance for Residential Buildings"?

Assessor Findings

There are storage sheds located externally within the rear communal garden for storing mobility scooters however, a scooter was stored in the common area and one was blocking an external escape route. A resident stated that the owner often charges the scooter within the common area. It was not possible to establish battery type of the equipment or if a suitable risk assessment has been completed in line with NFCC Mobility Scooter Guidance for Residential Buildings.

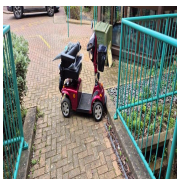


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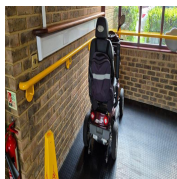


Photo 25



Photo 26

Open | Priority: Medium | Due: 24 Jul 2024 5:34 PM BST | Created by: Adrian Gallimore

G3

Mobility scooters stored / charged within common areas should be removed and exit routes kept clear at all times. Management should conduct a suitable and sufficient risk assessment in line with NFCC Guidance for Residential Buildings. Any risk assessment completed should take into account any fire risks associated with Lithium Ion batteries where applicable.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

H - Hazards Introduced by Contractors

H1

Is there satisfactory control over works carried out in the building by contractors (e.g. hot work permits)?

See Principle Policy

Policy Principle: All contractors must submit RAMS for procurement processes, and these are reviewed annually by FHG. A specific risk assessment is to be completed for each job.

I - Dangerous Substances

I1

If dangerous substances are used, has a risk assessment been carried out as required by the Dangerous Substances and Explosives Atmospheres Regulations 2002 and are they stored correctly?

No hazardous materials were found to be stored on the premises at the time of this assessment.

J - Other Significant Hazards

J1

Are all issues deemed satisfactory? [1]

No issues to report

J2

Are all issues deemed satisfactory? [2]

No issues to report

K - Means of Escape

2 actions

K1

Is the escape route design deemed satisfactory? (Consider current design codes)

The means of escape appears to be adequate from all areas.

K2

Is the fire-resisting construction (including any glazing) protecting escape routes and staircases of a suitable standard and maintained in sound condition?

The fire-resisting construction (including any glazing) protecting escape routes and staircases was of a suitable standard and maintained in sound condition.

Compartmentation issues were identified above suspended ceilings. Refer to Q2. There is also some wooden cladding installed to common areas and a notice board with paper notices located on the escape route. Refer to Q7.

K3

Is there adequate provision of exits (including exit Widths) for the numbers who may be present?

The exits provided are adequate for the maximum number of persons ever likely to need them to escape from a fire, taking into account the evacuation strategy in place for the building.

K4

Are doors on escape routes easily opened? (and are sliding or revolving doors avoided?)

Assessor Findings

All exit doors have quick release mechanisms fitted. The front door has a door release with with an override device fitted.



Photo 27



Photo 28



Photo 29

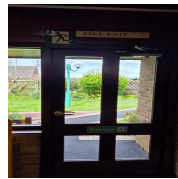


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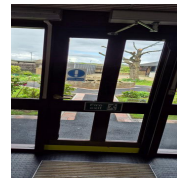


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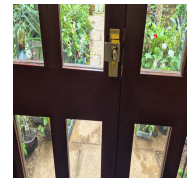


Photo 32

K5

Do final exits open in the direction of escape where necessary?

The final exit doors open in the direction of travel.

K6

Are travel distances satisfactory? (consider single direction and more than one direction, property risk profile and occupancy characteristics)

The travel distances from all areas are within the maximum distances recommended in national guidance.

There are some small dead end situations including from rooms 14-15 however the travel distances to the fire separating doors from the flats is short (less than 4 metres)

K7

Are there suitable precautions for all inner rooms?

There are no inner rooms in the communal or landlord only parts at this address.

K8

1 action

Are escape routes separated where appropriate?

Assessor Findings

Escape routes including corridors and stairways are separated by fire doors. All separating doors have auto-closures, intumescent strips and reinforced glass fitted however, doors are not labelled and it was not possible to establish fire rating. Gaps are excessive to fire doors labelled WC027 and WC021.

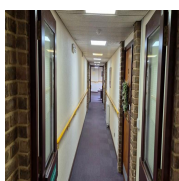


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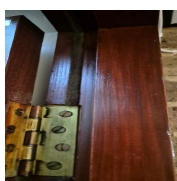


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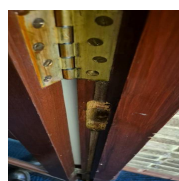


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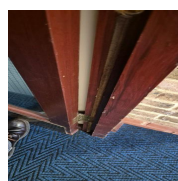


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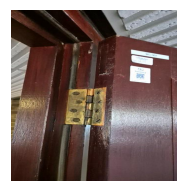


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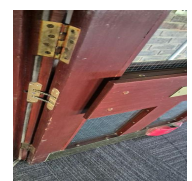


Photo 38



Photo 39



Photo 40



Photo 41

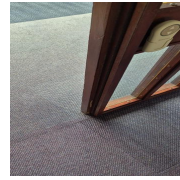


Photo 42



Photo 43



Photo 44



Photo 45



Photo 46

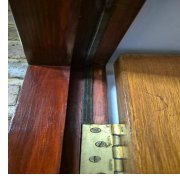


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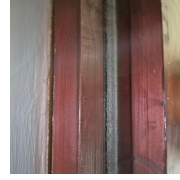


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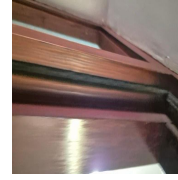


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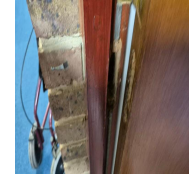


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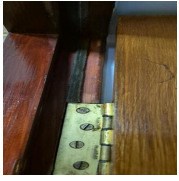


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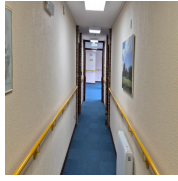


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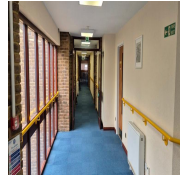


Photo 53



Photo 54



Photo 55

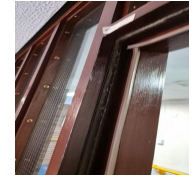


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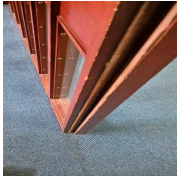


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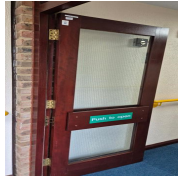


Photo 58



Photo 59

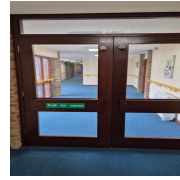


Photo 60

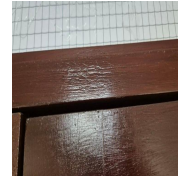


Photo 61



Photo 62



Photo 63

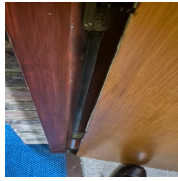


Photo 64



Photo 65

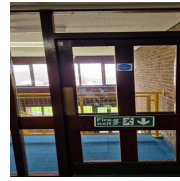


Photo 66



Photo 67

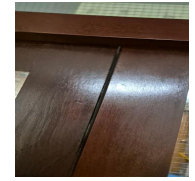


Photo 68



Photo 69



Photo 70



Photo 71



Photo 72

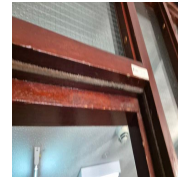


Photo 73



Photo 74



Photo 75



Photo 76

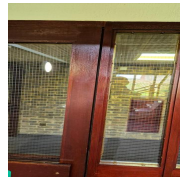


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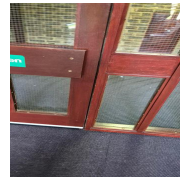


Photo 78



Photo 79

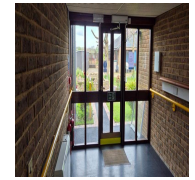


Photo 80



Photo 81

K8

Management should confirm fire rating to all separating fire doors. Where fire rating cannot be confirmed, doors should be replaced with self closing fire door sets to FD30s specification. Management should repair fire doors WC27 and WC021 to ensure that gaps do not exceed 4mm tolerance. Any installation or repairs should only be completed by a certified fire door contractor.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

K9

Are corridors sub-divided where appropriate?

Assessor Findings

All corridors are sub-divided at suitable distances. Fire doors are not labelled. Refer to K8.

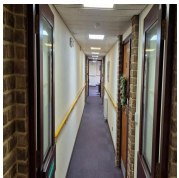


Photo 82

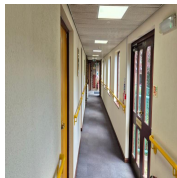


Photo 83

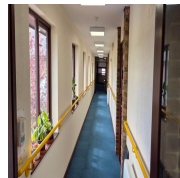


Photo 84



Photo 85

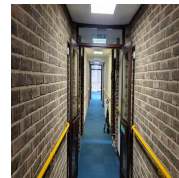


Photo 86

K10

Do escape routes lead to a place of safety?

All escape routes lead to places of, "Ultimate Safety".

K11

Are the stairs and/or lobbies provided with adequate ventilation? (If considered satisfactory, please state provision)

There are openable windows throughout the escape staircase enclosure.

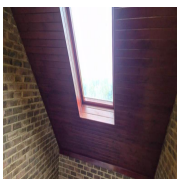


Photo 87



Photo 88

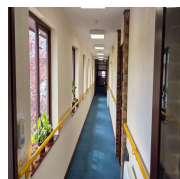


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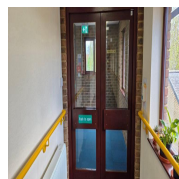


Photo 90

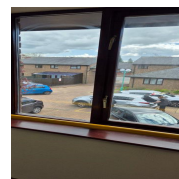


Photo 91

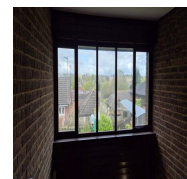


Photo 92

K12

1 action

Are there any other issues that could affect the means of escape, for example plastic conduit/loose cables not secured by fire rated fastening?

Assessor Findings

There is some conduit present to common areas and it was not possible to confirm that the requirements of Regulation 521.10.202 of the BS 7671 - 18th Edition of The IET Wiring Regulations, which requires all cables to be adequately supported using non-combustible fixings to prevent premature collapse in the event of a fire. The new regulation is not applied retrospectively so any wiring systems fitted before 2019 do not need to be immediately updated. Any new installation or additions and alterations to existing systems, including temporary wiring, have to comply with the regulations.

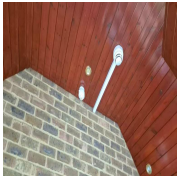


Photo 93



Photo 94

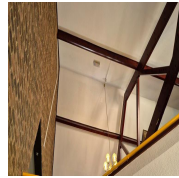


Photo 95



Photo 96



Photo 97



Photo 98

Open | Created by: Adrian Gallimore

K12

Management is to consider the requirements of the Regulation 521.10.202 of the BS 7671 - 18th Edition The IET Wiring Regulations which requires all cables to be adequately supported using non-combustible fixings to prevent premature collapse in the event of a fire albeit not retrospective and seek the advice of a suitably qualified competent person or organisation and undertake any remediation identified by the aforementioned competent person or organisation.

Action/Recommendation Required?

Yes

Action Priority:

Recommendation - No Timescale

L - Flat Entrance Doors

1 action

L1

1 action

Are the sample inspection flat entrance door or doors in good condition and appropriately fire rated?

Assessor Findings

Flats 3, 7, 38 and 40 were sampled. Doors are not labelled and it was not possible to establish fire rating. No self closure device is fitted to flat 40. It was not possible to establish fire rating or condition of other dwelling doors as no further flats were sampled.

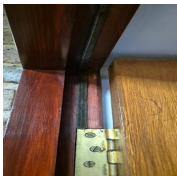


Photo 99

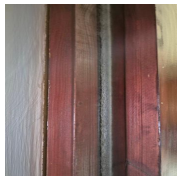


Photo 100

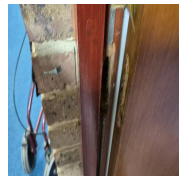


Photo 101

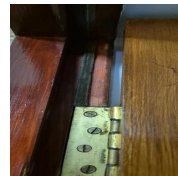


Photo 102



Photo 103

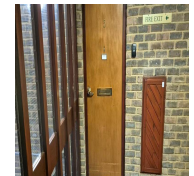


Photo 104

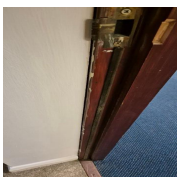


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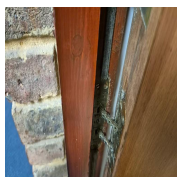


Photo 106

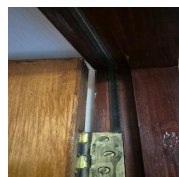


Photo 107

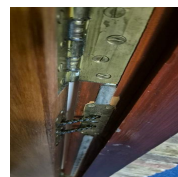


Photo 108

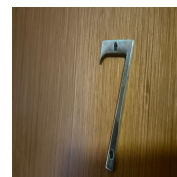


Photo 109

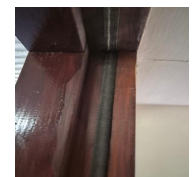


Photo 110

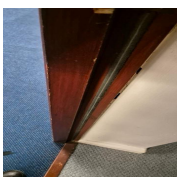


Photo 111

Open | Priority: Medium | Due: 24 Jul 2024 6:03 PM BST | Created by: Adrian Gallimore

L1

Management should inspect all dwelling doors to establish fire rating and condition. Where doors are not fire rated to a minimum of FD30s specification or where defects are identified, doors should be repaired or replaced by certified self closing fire doors to a minimum of FD30s specification. Any installation or repair should only be conducted by a certified third-party fire door contractor.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

M - Common Area Fire Doors

1 action

M1

1 action

Are all common area fire door and frames in good condition and appropriately fire rated?

Assessor Findings

In addition, to separating doors and sub-dividers fire doors are installed to risk rooms such as laundry and kitchen. Doors are not labelled and it was not possible to establish fire rating. Intumescent strips or cold seals and self closure / auto closures are fitted.

Open | Priority: Medium | Due: 24 Jul 2024 6:07 PM BST | Created by: Adrian Gallimore

M1

As with recommendations to K8 and K9, management should inspect all other common area fire doors to establish fire rating. Where doors are not fire rated to a minimum of FD30s specification, doors should be replaced with certified self closing fire door sets to a minimum of FD30s specification.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

N - Emergency Lighting

1 action

N1

1 action

If emergency lighting is provided, is the coverage sufficient and in good repair? (Internal and external)

Emergency lighting is provided throughout the escape routes and the coverage is sufficient. it appears to be in accordance with BS 5266 Pt 1 2016 (See limitations statement)

Defective emergency light units were identified to EL 73 and EL3.



Photo 112

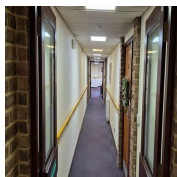


Photo 113

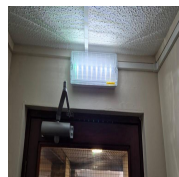


Photo 114



Photo 115

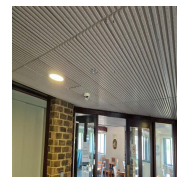


Photo 116

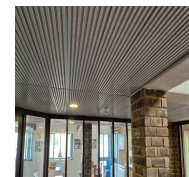


Photo 117



Photo 118



Photo 119



Photo 120



Photo 121



Photo 122

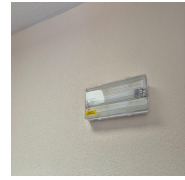


Photo 123

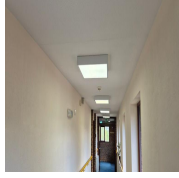


Photo 124



Photo 125

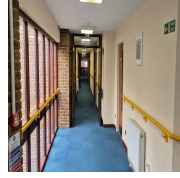


Photo 126

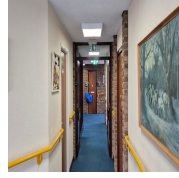


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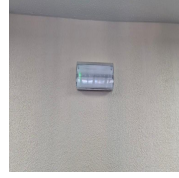


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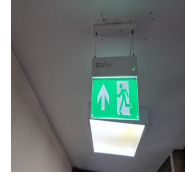


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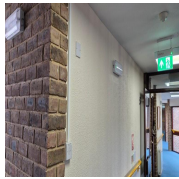


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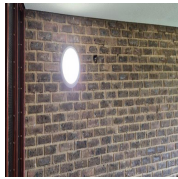


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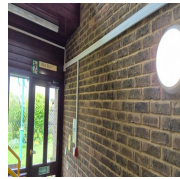


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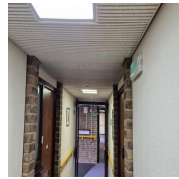


Photo 133



Photo 134



Photo 135



Photo 136

Open | Priority: Medium | Due: 24 Jul 2024 6:11 PM BST | Created by: Adrian Gallimore

N1

Management should inspect all emergency lights and repair any defective lights identified.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

N2

If EL not provided, is borrowed/artificial lighting sufficient for escape? (Internal and external)

See N1

O - Fire Safety Signs and Notices

O1

Is there adequate provision of visible fire safety signs and notices? (Consider directional, exits, stairs, fire action notices, Fire door keep shut, fire equipment and 'do not use lift' signage)

There is adequate provision of visible fire safety signs and notices, including directional, exits, stairs, fire action notices, Fire door keep shut, fire equipment and 'do not use lift' signage



Photo 137



Photo 138



Photo 139

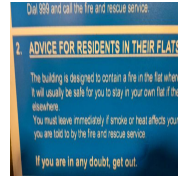


Photo 140



Photo 141



Photo 142

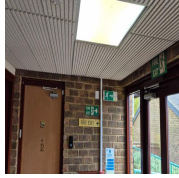


Photo 143



Photo 144

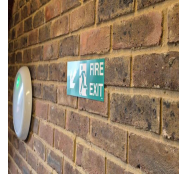


Photo 145



Photo 146

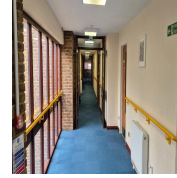


Photo 147

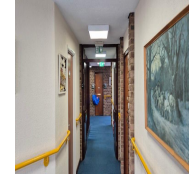


Photo 148



Photo 149

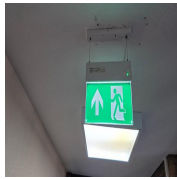


Photo 150

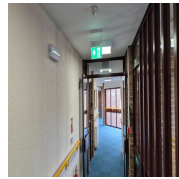


Photo 151



Photo 152

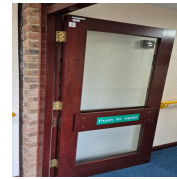


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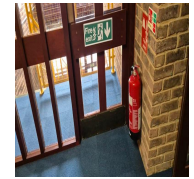


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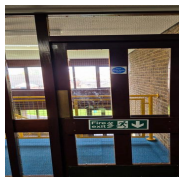


Photo 155



Photo 156



Photo 157

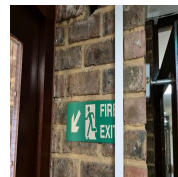


Photo 158

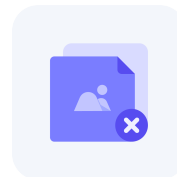


Photo 159



Photo 160



Photo 161

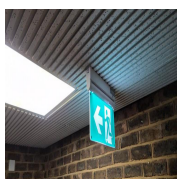


Photo 162

O2

Wayfinding Signage (buildings over 11 metres in height). Are there clear markings for flat and floor recognition provided?

Wayfinding signage is not required

P - Means of Giving Warning in Case of Fire

4 actions

P1

1 action

Is a reasonable fire detection and fire alarm system provided in the common areas, where necessary?

Assessor Findings

The building is fitted with a commercial fire detection and warning system however, the assessor was not able to establish the specification of install as remote areas such as plant / electrical intake rooms were not accessible (refer to P2). The system includes a fire panel at the main entrance, heat detectors in the kitchen and laundry, and smoke detectors in all other areas which is considered suitable for the type and use of property. The disablement light was showing on the alarm panel. Linked detection and hard-wired detection is installed to the dwellings sampled. It is presumed that the alarm system is to BS5838: L2 specification.



Photo 163

Open | Priority: High | Due: 24 May 2024 9:04 PM BST | Created by: Adrian Gallimore

P1

Management should investigate the disablement fault light to the alarm panel and ensure that it is repaired as required. Management should also confirm the specification of alarm installation.

Action/Recommendation Required?

Yes

Action Priority:

High - 1 Month

P2

1 action

If installed, is the common area AFD adequate for the occupancy and fire risk?

Assessor Findings

Smoke detection is installed to all common areas with heat detection installed to the kitchen and laundry. There were remote areas such as plant rooms that were not accessible and it was not possible to establish if detection is installed to these areas. AFD is installed to the accessible part of the roof space.

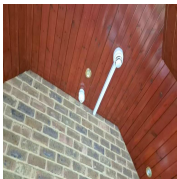


Photo 164

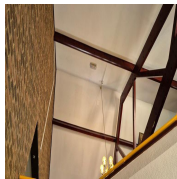


Photo 165

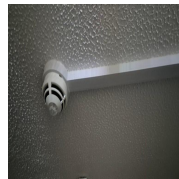


Photo 166

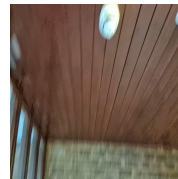


Photo 167

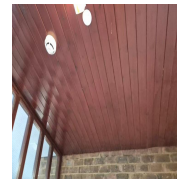


Photo 168

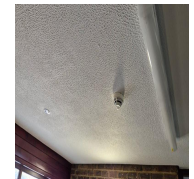


Photo 169

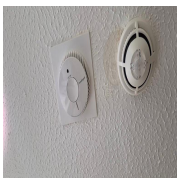


Photo 170

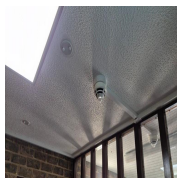


Photo 171

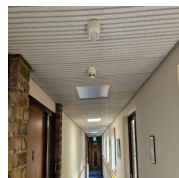


Photo 172

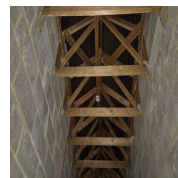


Photo 173

Open | Priority: Medium | Due: 24 Jul 2024 9:09 PM BST | Created by: Adrian Gallimore

P2

Management should confirm if AFD is installed to remote areas such as plant and intake room. Where AFD is not installed to these areas management should consider upgrading the system to include AFD to these area. Any upgrade should only be completed by an approved fire alarm installer.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

P3

If not installed, are the premises deemed safe without a common area AFD system?

See P1 and P2

P4

If there is a communal fire detection and fire alarm system, does it extend into the dwellings?

Assessor Findings

Linked detection is installed to the dwellings sampled (3,7,38 and 40). It was not possible to establish if linked detection is installed to all other dwellings as no other flats were sampled. Refer to P7.

P5

Where appropriate, has a fire alarm zone plan been provided?

Fire alarm zone plan is provided and is correctly orientated in accordance with BS 5839 pt 1

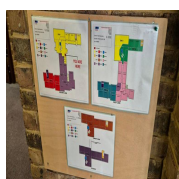


Photo 174

P6

1 action

Where appropriate, are there adequate arrangements for silencing and resetting an alarm condition?

Assessor Findings

It was not possible to establish the arrangements for silencing and resetting the alarm system as the information was not available at the time of assessment. The duty member of staff seen at the time of arrival confirmed that the alarm is monitored by an alarm receiving centre.

Open | Priority: Medium | Due: 24 Jul 2024 2:49 PM BST | Created by: Adrian Gallimore

P6

Management should confirm the arrangements for silencing and resetting the alarm system and ensure that arrangements are communicated to residents.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

P7

1 action

If applicable, is a separate domestic hard-wired smoke/heat alarm within the flats installed to a suitable standard?

Assessor Findings

Refer to P1. It is understood that the building is a sheltered accommodation facility. For all such premises, suitable fire detection and warning systems should be installed within individual flats. In accordance with current, established guidance, it is recommended that fire detection and warning systems within individual flats should meet the recommendations for a Category LD1 system, as defined in BS 5839-6, such that hallways are covered, along with all rooms, other than toilets, shower rooms and bathrooms. Linked detection and hard-wired detection is installed to dwellings sampled.



Photo 175

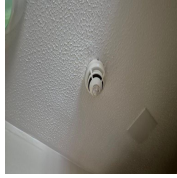


Photo 176



Photo 177



Photo 178

Open | Priority: Medium | Due: 24 Jul 2024 2:53 PM BST | Created by: Adrian Gallimore

P7

Management to confirm that each flat is fitted with BS 5839-6 category LD1 system. Where flats do not meet this standard, the alarm system should be upgraded in accordance with then standard. Any alarm upgrade should only be completed by an accredited fire alarm installation engineer.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

P8

If applicable (Sheltered scheme) is the smoke detection within the flats monitored by an alarm receiving centre/on site scheme manager via a telecare system?

Assessor Finding

The duty member of staff confirmed that the alarm is monitored by an alarm receiving centre.

Q - Measures to Limit Fire Spread and Development

9 actions

Q1

1 action

Is there adequate levels of compartmentation between floors and between flats and the common escape routes?

Assessor Findings

Walls to the common area are exposed brick and ceilings to the first floor are plastered. Some penetrations were identified to brick work close to the separating door by flat 36. Numerous compartmentation issues were identified above suspended ceilings to the ground / lower ground floors. Refer to Q2. In addition, wooden cladding is fitted to the interior and the assessor was not able to confirm fire rating. Refer to Q7.



Photo 179

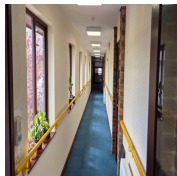


Photo 180



Photo 181

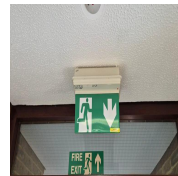


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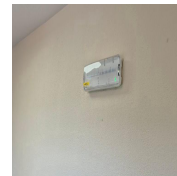


Photo 183

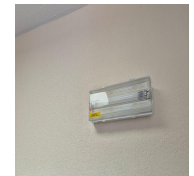


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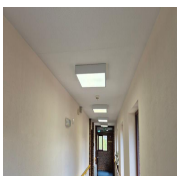


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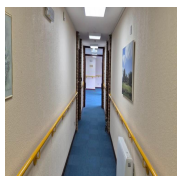


Photo 186



Photo 187

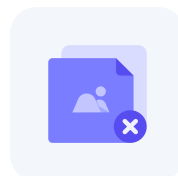


Photo 188

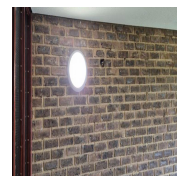


Photo 189

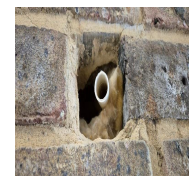


Photo 190

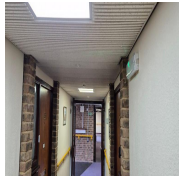


Photo 191

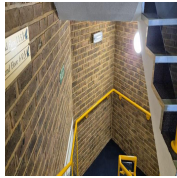


Photo 192

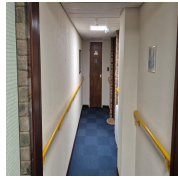


Photo 193

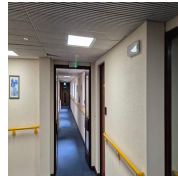


Photo 194

Open | Priority: Medium | Due: 24 Jul 2024 3:03 PM BST | Created by: Adrian Gallimore

Q1

Management should fire stop penetrations to the wall (close to flat 36) with fire rated building materials.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

Q2

2 actions

Are hidden voids appropriately enclosed and/or fire-stopped? (consider above suspended ceilings)

Assessor Findings

Suspended ceiling tiles are fitted to the ground / lower ground floors. Tiles were sampled lifted in numerous locations and those lifted were found to be clipped to soffits above however, the assessor was not able to confirm this in all locations. Some ceiling tiles were missing on lower ground floors. In addition, compartmentation issues were identified above separating fire doors and sub-dividers where penetrations were noted throughout. The assessor was not able to confirm fire rating of ceiling tiles.

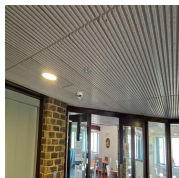


Photo 195

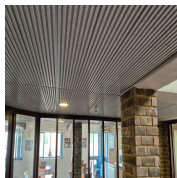


Photo 196



Photo 197

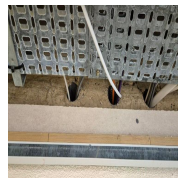


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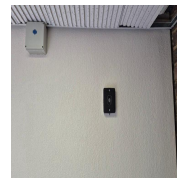


Photo 199

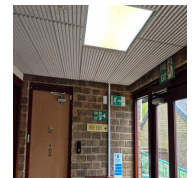


Photo 200



Photo 201

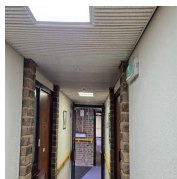


Photo 202

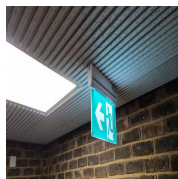


Photo 203



Photo 204

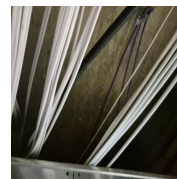


Photo 205



Photo 206

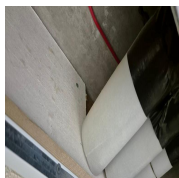


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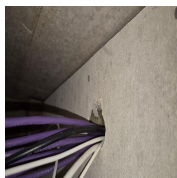


Photo 208

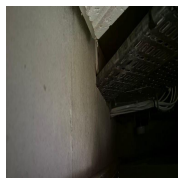


Photo 209

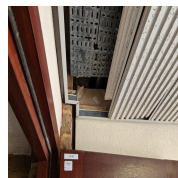


Photo 210



Photo 211



Photo 212



Photo 213

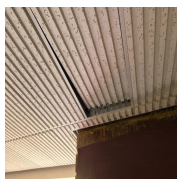


Photo 214

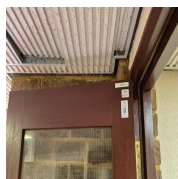


Photo 215

Open | Priority: Medium | Due: 24 Jul 2024 3:13 PM BST | Created by: Adrian Gallimore

Q2

Management should conduct a comprehensive survey above suspended ceiling tiles to ensure that compartmentation is adequate and any penetrations identified are suitably fire stopped with fire rated building materials. Any compartmentation works / fire stopping should only be completed by a certified third-party contractor.

Open | Priority: Medium | Due: 24 Jul 2024 3:11 PM BST | Created by: Adrian Gallimore

Q2

Management should confirm fire rating of ceiling tiles to ensure that they are a minimum of 30 minutes fire rated. Where tiles do not conform they should be replaced with certified of 30 minutes fire rating. Management should also ensure that all tile supports are appropriately clipped to soffits above. Any missing, loose or poorly seated tiles should be replaced as required.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

Q3

Is there adequately fire protected service risers and/or ducts in common areas, that will restrict the spread of fire and smoke?

Assessor Findings

There are wooden service risers throughout that were not accessible at the time of assessment. It was not possible to establish what is behind risers or compartmentation within.

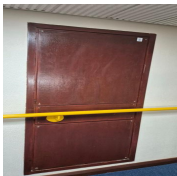


Photo 216

Q4

1 action

Is compartmentation maintained in the roof space?

Assessor finding

There was only a small area of the roof space accessible to the assessor and compartmentation appeared adequate in this area (head and shoulder inspection only). It was not possible to establish the level of compartmentation within the remainder of the roof space.

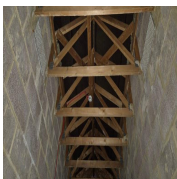


Photo 217

Open | Priority: Medium | Due: 24 Jul 2024 3:23 PM BST | Created by: Adrian Gallimore

Q4

Management should inspect the remainder of the roof space to ensure that compartmentation within is adequate and maintained

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

Q5

2 actions

Are electrics, including embedded meters, enclosed in fire rated construction?

Assessor Findings

There are plant rooms / lift motor rooms to the lower ground floor stairway which were not accessible. There is also a (presumed) plant room next to the waste collection area that was not accessible. It was not possible to establish the level of compartmentation, ignition risks within or if doors are fire rated. There are embedded meter enclosures throughout that have wooden fronts but are lined with fire rated materials however, those examined had penetrations within.



Photo 218

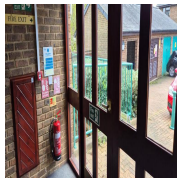


Photo 219

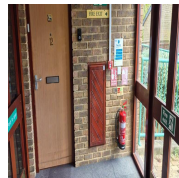


Photo 220

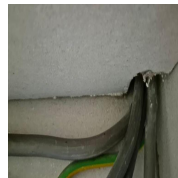


Photo 221

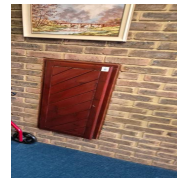


Photo 222



Photo 223

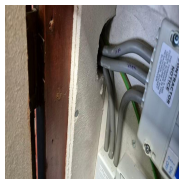


Photo 224

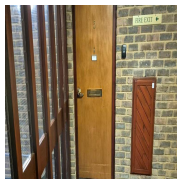


Photo 225

Open | Priority: Medium | Due: 24 Jul 2024 3:34 PM BST | Created by: Adrian Gallimore

Q5

Management should inspect all embedded meter enclosures to ensure that they are fire rated to a minimum of FD30s specification. Any penetrations identified within should be fire stopped with fire rated building materials.

Open | Priority: Medium | Due: 24 Jul 2024 3:32 PM BST | Created by: Adrian Gallimore

Q5

Management should inspect plant rooms to ensure that compartmentation within is adequate. Doors to plant rooms should be fire rated to a minimum of FD30s specification. Where doors do not conform, they should be replaced with certified self-closing fire doors to FD30s specification. Any penetrations identified within should be fire stopped with fire rated building materials. Any work required should only be completed by a certified third-party contractor.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

Q6

As far as can reasonably be ascertained, are fire dampers provided as necessary to protect critical means of escape against passage of fire, smoke and products of combustion in the early stages of a fire?

It could not be ascertained if ducts are installed within the premises see limitations statement

Q7

2 actions

Is there reasonable limitation of linings to escape routes that might promote fire spread?

Assessor Findings

Wooden cladding is fitted to parts of the common area. It was not possible to establish fire rating or materials. In addition, a notice board with paper notices is located on the escape route.

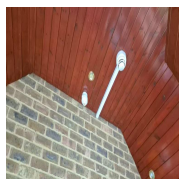


Photo 226

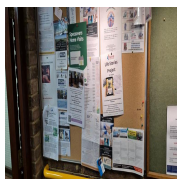


Photo 227

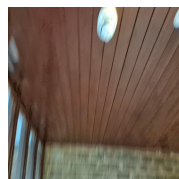


Photo 228

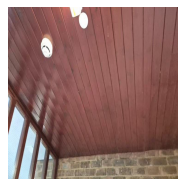


Photo 229

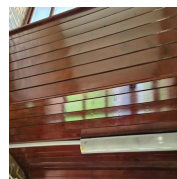


Photo 230

Open | Priority: Medium | Due: 24 Jul 2024 3:40 PM BST | Created by: Adrian Gallimore

Q7

Paper notices on the notice board should either be laminated or the notice board should be replaced with Perspex covered type.

Open | Priority: Medium | Due: 24 Jul 2024 3:39 PM BST | Created by: Adrian Gallimore

Q7

Management should confirm if wooden cladding is fire rated with a view to replace it with fire rated materials where it is found not to conform.

Action/Recommendation Required?

Yes

Action Priority:

Medium - 3 Months

Q8

1 action

Are soft furnishings in common areas appropriate to limit fire spread/growth?

Assessor Findings

Soft furnishings on the whole are labelled to confirm that they conform to BS7176, however, there is one upholstered bench that is not labelled and it was not possible to establish fire rating of materials.



Photo 231



Photo 232

Open | Priority: Medium | Due: 24 Jul 2024 3:44 PM BST | Created by: Adrian Gallimore

Q8

Management should confirm if the upholstered bench to the front of the premise adjacent to the entrance is fire rated to BS7176. Where this does not conform, seat covering should be replaced with types that meet the standard.

Action/Recommendation Required?	Yes
Action Priority:	Medium - 3 Months
Q9	
Does the premises have any external balconies, cladding or materials which may promote external fire spread?	The premises does not have any external balconies, cladding or materials which may promote external fire spread.
Q10	
Has a note been prepared of the external walls of the building and details of construction materials used? Does the note include and identify the level of risk that the design and materials used?	No not required
Q11	
Does the External wall note include any mitigating circumstances that may have been taken to reduce the risk?	N/A
Q12	
Has the responsible person reviewed the external wall note on a regular basis and revised it if there have been any significant changes in the external walls.	N/A
Q13	
Are all other fire spread/compartmentation issues satisfactory?	No other issues noted at the time of this assessment.
R - Fire Extinguishing Appliances	1 action
R1	1 action
If required, is there reasonable provision of accessible portable fire extinguishers?	Assessor Findings

Foam and CO2 units are installed to all compartments in accordance with BS5306: Part 8. Extinguishers are appropriately mounted with correct signage displayed. Extinguishers are maintained under service contract with Harmony. The last inspection was completed 03/24. Signage is not displayed at fire points to state that extinguishers should only be used by trained persons.



Photo 233

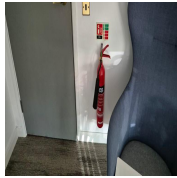


Photo 234

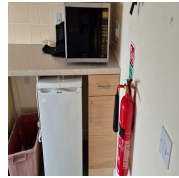


Photo 235



Photo 236

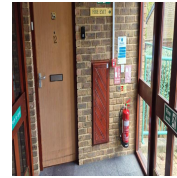


Photo 237



Photo 238

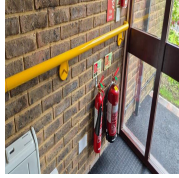


Photo 239

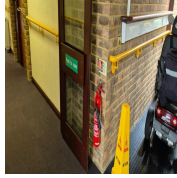


Photo 240

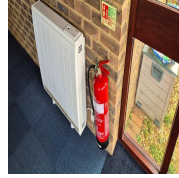


Photo 241

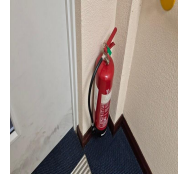


Photo 242

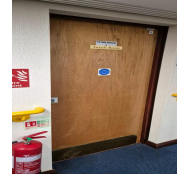


Photo 243

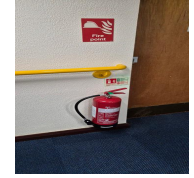


Photo 244

Open | Priority: Low | Due: 24 Apr 2025 3:51 PM BST | Created by: Adrian Gallimore

R1

Management should display signs at fire points to state 'only to be used by trained persons'.

Action/Recommendation Required?

Yes

Action Priority:

Low - 12 Months

S - Relevant Automatic Fire Extinguishing Systems

S1

Are there any automatic fire suppressant systems on site?

No sprinkler system is provided or required at this address.

S2

Are there any fixed fire fighting mains within the premises?

Assessor Findings

None present.

S3

If any other relevant systems / equipment is installed, state type of system and comment as necessary

N/A

None present.

T - Procedures and Arrangements

3 actions

T1

Recommended evacuation strategy for this building is:

Dual Policy Recommended

T2

1 action

Has a competent person(s) been appointed to assist in undertaking the preventative and protective measures

Unknown.

including in house checks?

It was not possible to ascertain if there is a competent person appointed for this property.

Open | Created by: Adrian Gallimore

T2

Management should confirm there is a competent person in place to undertake the preventative and protective measures for this property.

Action/Recommendation Required?

Yes

Action Priority:

Recommendation - No Timescale

T3

Are there appropriate documented fire safety arrangements and procedures in place in the event of fire?

Assessor Findings

Fire Action Notices are displayed throughout.



Photo 245



Photo 246

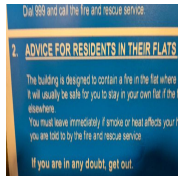


Photo 247



Photo 248

T4

Are there suitable arrangements for liaison and calling the Fire Service?

A off site ARC will call the Fire and Rescue service

T5

Are there suitable fire assembly points away from any risk?

Assessor Findings

The fire assembly point is outside and is clear of the building.

T6

1 action

Are there adequate procedures in place for the evacuation of disabled people who are likely to be present?

Assessor Findings

It was not possible to establish if there are disabled residents however, wheelchairs and mobility scooters were identified. It was not possible to establish if there are adequate procedures in place for disabled / persons that have mobility issues.

Open | Created by: Adrian Gallimore

T6

Management should establish if there are any persons with disabilities or special needs that may require assistance, require a PEEPs and/or PCFRA. An appropriate procedure should be put in

place once a PEEPS or PCFRA has been completed.

Action/Recommendation Required?

Yes

Action Priority:

Recommendation - No Timescale

T7

1 action

Are staff nominated and trained on the use of fire extinguishing appliances?

Assessor Findings

There is no permanent member of staff present however, there is a member of staff that attends site regularly. There are also touchdown staff that may attend from time to time. It was not possible to establish the company policy on the use of fire extinguishers or if staff have received training.

Open | Priority: Low | Due: 24 Apr 2025 4:03 PM BST | Created by: Adrian Gallimore

T7

Management should confirm the policy on extinguisher use. Where staff are expected to use extinguishers, they should be appropriately trained with adequate records maintained.

Action/Recommendation Required?

Yes

Action Priority:

Low - 12 Months

T8

Are staff nominated and trained to assist in evacuation (Where applicable e.g. Offices, supported schemes)?

Assessor Findings

There are no permanent members of staff on site and as such it is unlikely that they would be expected to assist in resident evacuations.

U - Training

U1

Do staff receive adequate induction and annual refresher fire safety training? (To include fire risks in the premises, fire safety measures in the building, action in the event of fire and on hearing alarm, location and use of fire extinguishers, calling the fire service)

See Policy Principle

Policy Principle: All touchdown points (small offices) staff receive Inductions and annual refreshers on fire safety fire safety. But at all the schemes no permanent staff are present.

U2

Are employees nominated to assist in the event of fire given additional training?

Assessor Findings

Refer to T8.

V - Testing and Maintenance

V1

Are all fire safety provisions for the building (AFD, Emergency Lighting, sprinklers etc.) routinely tested and maintained?

See Principle Policy

Policy Principle: Alarms- FHG Greenscapes, MITIE. E/L- FHG Greenscapes, MITIE. Assets Surveyor Extinguishers- MITIE. Fire Doors- FHG Greenscapes, Assets Surveyor Final Exits/ Escape Routes- Greenscapes/ Neighbourhoods.

W - Records

1 action

W1

1 action

Is all routine testing and staff training including fire drills suitably recorded and available for inspection?

Assessor Findings

It was not possible to establish if there are regular fire drills as the information was not available at the time of assessment.

Open | Priority: Low | Due: 24 Apr 2025 4:07 PM BST | Created by: Adrian Gallimore

W1

Management should ensure that there are regular fire evacuation drills (minimum of twice yearly) and that adequate records are maintained.

Action/Recommendation Required?

Yes

Action Priority:

Low - 12 Months

X - Premises Information Box

X1

Is a Premises Information Box located at the premises accessible to the Fire and Rescue Service, secure from unauthorised access and kept up to date?

See Principle Policy

Policy Principle: Log book is kept on SharePoint with proposed specific QR code access.

Y - Engagement with Residents

1 action

Y1

1 action

Has all Fire Safety information & procedures been disseminated to the residents?

Assessor Findings

It was not possible the level of fire safety information disseminated to residents as the information was not

available at the time of assessment.

Open | Priority: Low | Due: 24 Apr 2025 4:12 PM BST | Created by: Adrian Gallimore

Y1

Management should ensure that all residents have received the relevant fire safety information that may already be in place and that any updated fire safety information is subsequently disseminated to residents as required.

Action/Recommendation Required?

Yes

Action Priority:

Low - 12 Months

Z - Any Other Information

Z1

Are all issues deemed satisfactory? [1]

N/A

No further issues were identified.

Z2

Are all issues deemed satisfactory? [2]

N/A

No further issues were identified.

Assessment Risk Ratings

2 flagged

Risk Rating

The following simple risk level estimator is based on a more general health and safety risk level estimator of the type contained in BS 8800:

Likelihood of fire	Potential consequences of fire		
	Slight Harm	Moderate Harm	Extreme Harm
Low	Trivial	Tolerable	Moderate
Medium	Tolerable	Moderate	Substantial
High	Moderate	Substantial	Intolerable

Likelihood of Fire

Taking into account the fire prevention measures observed at the time of this risk assessment, it is considered that the hazard from fire (likelihood of fire) at these premises is:

MEDIUM

In this context, a definition of the above terms is as follows:

Low: Unusually low likelihood of fire as a result of negligible potential sources of ignition.

Medium: Normal fire hazards (e.g. potential ignition sources) for this type of occupancy, with fire hazards generally subject to appropriate controls (other than minor shortcomings).

High: Lack of adequate controls applied to one or more significant fire hazards, such as to result in significant increase in likelihood of fire.

Potential Consequences of Fire

Taking into account the nature of the building and occupants, as well as the fire protection and procedural arrangements observed at the time of this fire risk assessment, it is considered that the consequences for life safety in the event of fire would be:

MODERATE HARM

Potential Consequences of Fire

In this context, a definition of the above terms is as follows:

Slight harm: Outbreak of fire unlikely to result in serious injury or death of any occupant.

Moderate harmful: Outbreak of fire could foreseeably result in injury (including serious injury) of one or more occupants, but it is unlikely to involve multiple fatalities.

Extreme harm: Significant potential for serious injury or death of one or more occupants likely to involve multiple fatalities.

Premises Risk Rating

1 flagged

Accordingly, it is considered that the risk to life from fire at these premises is:

MODERATE

A suitable risk-based control plan should involve effort and urgency that is proportional to risk. The following risk-based control plan is based on one advocated by BS 8800 for general health and safety risks:

Risk Level	Action and time table
Trivial	No action is required and no detailed records need be kept.
Tolerable	No major additional controls required. However, there might be a need for improvements that involve minor or limited cost.
Moderate	It is essential that efforts are made to reduce the risk. Risk reduction measures should be implemented within a defined time period. Where moderate risk is associated with consequences that constitute extreme harm, further assessment might be required to establish more precisely the likelihood of harm as a basis for determining the priority for improved control measures.
Substantial	Considerable resources might have to be allocated to reduce the risk. If the building is unoccupied, it should not be occupied until the risk has been reduced. If the building is occupied, urgent action should be taken.
Intolerable	Building (or relevant area) should not be occupied until the risk is reduced.

(Note that, although the purpose of this section is to place the risk in context, the above approach to fire risk assessment is subjective and for guidance only. All hazards and deficiencies identified in this report should be addressed by implementing all recommendations contained in the following action plan. The fire risk assessment should be reviewed regularly.)

On satisfactory completion of all remedial works the risk rating of this building may be reduced to

TOLERABLE

Limitations Statement

Fire Risk Assessment – Limitations

The purpose of the fire risk assessment is solely to provide an assessment of the risk to life from fire, and, where appropriate, to make recommendations to reduce the risk to life from fire. This assessment does not address fire risks to property or business continuity.

Under Article 5(4) of the Regulatory Reform (Fire Safety) Order 2005 or other devolved equivalent regional legislation and relevant United Kingdom law, we have been appointed to provide advice to the Responsible Person only. We have no control over any part of the premises covered within this fire risk assessment, and we have no responsibility for undertaking any of the recommendations made. The assessment is intended to assist the Responsible Person to comply with their responsibilities under the Regulatory Reform (Fire Safety) Order 2005.

Any policy principles included within this Fire Risk Assessment have been provided by the responsible person or their representative and been added in good faith. We cannot take responsibility for the accuracy of the policy principles with regard to the client's internal policies, British Standards or codes of practice.

Any test certificates supplied as part of the Fire Risk Assessment process will be considered but we take no responsibility or liability whatsoever is accepted for the accuracy of such information supplied by others.

The findings of the fire risk assessment will be based upon the conditions found at the Premises at the time the assessment is to be carried out and on relevant information provided by the Responsible Person or others either prior to, during or after the Fire Risk Assessment of the premises.

We consider the External Wall System as part of the Fire Risk Assessment process, however, we take no responsibility for a fire risk appraisal of external wall construction on existing buildings and work to the guidance and limitations detailed in PAS 9980:2022 0.2 Fire risk assessments. Any information supplied to the Fire Risk Assessor is taken in good faith and we accept no responsibility for the accuracy of the information supplied.

No responsibility is accepted for any change in the conditions or circumstances prior after the Fire Risk Assessment has been undertaken.

It is stressed that the assessment should not be regarded as a structural survey for fire safety purposes as such a survey should only be entrusted to a qualified building surveyor. The Fire Risk Assessment did not involve destructive exposure (Unless specifically requested as part of a contractual arrangement), and therefore it is not always possible to survey less readily accessible areas. It is, therefore, necessary to rely on a degree of sampling and also reasonable assumptions and judgements.

All services or penetrations traversing fire resisting compartments are not confirmed as being sufficiently fire stopped with fire resisting material to the appropriate standard. If fire compartments\fire dampers\voids (ceilings, floors or other voids) are considered inaccessible for safety reasons or any other reason and cannot be physically accessed or are outside the visual range of the assessor, technical comment on these areas cannot be provided.

This fire risk assessment will not necessarily identify all minor fire-stopping issues that might exist within the building and should be considered to be a sample of fire compartmentation. Unless a full fire compartmentation survey is contractually included within the scope of the assessment. If there are reasons to suspect the fire resistance within the Premises has not been sufficiently maintained the responsibility to provide this technical information rests with the Responsible Person\duty holder.

This fire risk assessment will not necessarily identify all minor fire door issues that might exist within the building and should be considered a sample of fire doors. Unless a full fire door survey is contractually included within the scope of the assessment.

A full investigation of the design of heating, ventilation and air conditioning (HVAC) systems is outside the scope of this fire risk assessment.

Although reference in the report may be made to relevant British Standards, Codes of Practice and Guides the assessment will not, nor is it intended to, ensure compliance with any of the documents referred to in the assessment. However, deviations from generally accepted codes, standards and universally recognised good fire safety practice will be identified in the assessment.

Where an emergency escape lighting system is present, comments are based upon a visual assessment of the system coverage and condition, but no illuminance tests or verification of the installation to the relevant British Standards were carried out.

Where a fire alarm system is present, comments are based upon a visual assessment, but no audibility tests or verification of full compliance with the relevant British Standards were carried out.

Where manual firefighting equipment is present, comments are based upon a visual assessment, but no verification of full compliance with the relevant British Standards or codes of practice were carried out.

It is the expectation that any reference to the testing and maintenance of passive or active fire protection systems within the premises are undertaken to the relevant current British Standards, Codes of Practice and Guides it is the responsible person's duty to ensure this is undertaken.

There will be a brief review of procedures at the time of this fire risk assessment. An in-depth review of documentation is outside the scope of this fire risk assessment, unless otherwise stated in the contract.

The report will highlight the Significant Findings (Split into Recommendations and Action(s)) that the Fire Risk Assessor found at the time of the assessment.

It is the responsibility of the Responsible Person to ensure that any deficiencies found during the assessment and subsequently reported to the Responsible Person, by the report or other means, are their responsibility to rectify to a satisfactory standard to meet the requirements of the Regulatory Reform (Fire Safety) Order 2005.

It is wholly the responsibility of the Responsible Person and/or their agent to implement and maintain the Fire Precautions at the Premises to a satisfactory standard and condition to comply with the requirements of the Regulatory Reform (Fire Safety) Order 2005.

Failure to address and/or rectify any deficiencies mentioned in the report may result in serious harm, injury and or death to any relative person, employee, visitor, you or any other person in, on, within or without the perimeter of the Premises.

Failure to address any of the deficiencies highlighted in the report may be considered to be a breach of the Regulatory Reform (Fire Safety) Order 2005 and may result in prosecution by the enforcing authority.

Responsibility for the ongoing management of the Premises and even, if necessary, the decision to allow the Premises to be used for their present purpose, and in the current condition remains with the Responsible Person.

Responsibility for management procedures regarding, evacuation management, and maintenance of firefighting equipment, Fire alarms systems, emergency escape lighting, and any other emergency-related provisions remains a duty of the responsible person, not the fire risk

assessor as this is not within their control.

Any faults or deficiencies in any emergency emergency-related staffing levels and/or staff training are the responsibility of the Responsible Person and/or the duty holder.

Portable or moveable items and items brought into the Premises are the responsibility of the Responsible Person and/or the duty holder.

It is recommended that the Assessment is reviewed annually or when there is a significant change, material alteration, change in the use of the Premises, a change in working practices, or following any incident, including fire, which may affect the Fire Precautions of the Premises.

The circumstances of the Premises may change over time and with use and/or occupancy, therefore, failure to review the fire risk assessment by the date indicated may mean that the fire risk assessment is no longer valid.

This Fire Risk Assessment is not a Health and Safety Report. A Health and Safety review should be conducted to ensure compliance with the Health and Safety at Work Act 1974.

Compliance with all other legislation is the responsibility of the Responsible Person. We accept no responsibility for loss, damage or other liability arising from a fire, loss and/or injury due to the failure to observe the safety, observance and practises identified in the Assessment

The Responsible Person will always remain responsible for the outcome of the Fire Risk Assessment and/or its review. This includes the accuracy of details contained within this report.

By signing for, by payment for services or acknowledgement of receipt of the report you accept full responsibility and accountability for implementing the findings of the report.



Life Safety Fire Risk Assessment Certificate of Conformity

This certificate is issued by the organization named in Part 1 of the schedule in respect of the fire risk assessment provided for the person(s) or organization named in Part 2 of the schedule at the premises and / or part of the premises identified in Part 3 of the schedule

Schedule

Part 1a - Name and Address of Certified Organisation	Pennington Choices Limited
Part 1b - BAFE Registration Number of Issuing Certified Organisation	301921
Part 1c - SSAIB 3rd Party Certificate Number	CHES077
Part 2 - Name of Client	Futures Housing Group
Part 3a - Address of premises for which the Fire Risk Assessment was carried out	Warwick Court Warwick Court: NN11 4XB
Part 3b - Part or parts of the premises to which the Fire Risk Assessment applies	Entrance lobby, stairways and landings. There is a communal sitting room, kitchen and laundry.
Part 4 - Brief description of the scope and purpose of the Fire Risk Assessment	Life Safety (as agreed spec)
Part 4b - Limitations of FRA	See Limitations Statement
Part 5 - Effective Date of the Fire Risk Assessment	24 Apr 2024
Part 6 - Recommended Date for Reassessment of the premises	24 Apr 2025
Part 7 - Unique Reference Number of this Certificate (Job Number)	325660

Signed for on behalf of the Issuing Certified Organisation

James Hutton



Dated:

24 Apr 2024

SSAIB, 7-9 Earsdon Road, West Monkseaton, Whitley Bay, Tyne & Wear. NE25 9SX

BAFE, The Fire Service College, London Road, Moreton-in-Marsh, Gloucestershire, GL56 0RH
01608 653 350 | info@bafes.org.uk | www.bafes.org.uk

Media summary



Photo 1



Photo 2

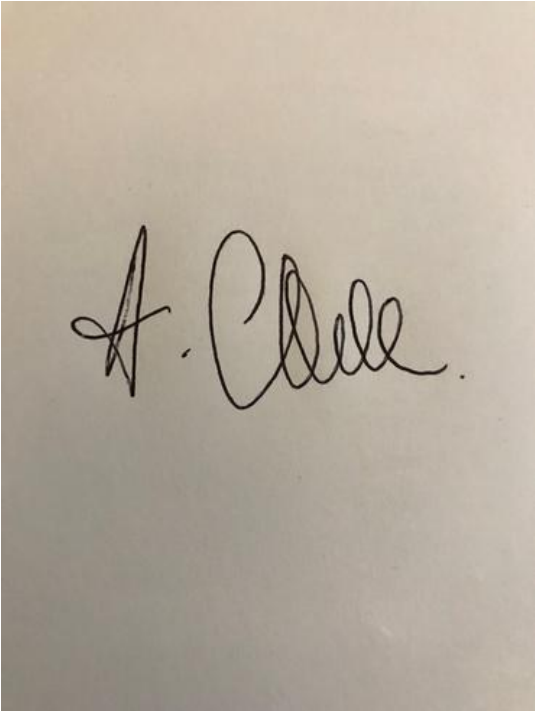


Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8

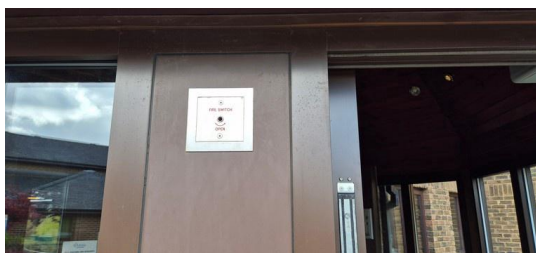


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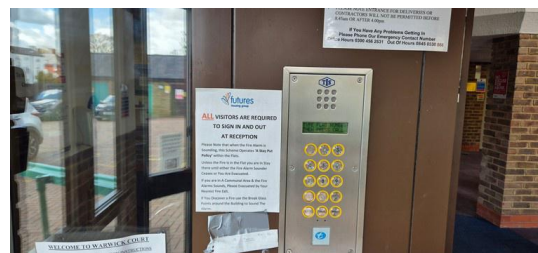


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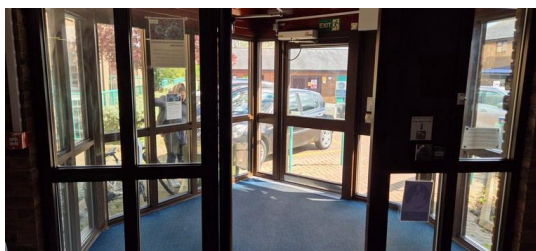


Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18



Photo 20



Photo 19



Photo 21



Photo 22



Photo 23



Photo 24

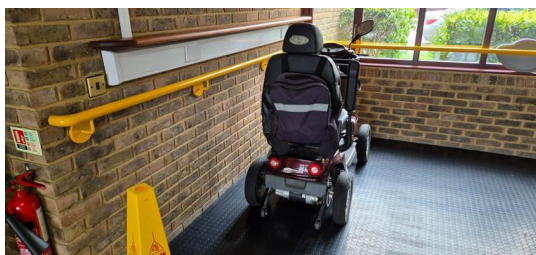


Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31

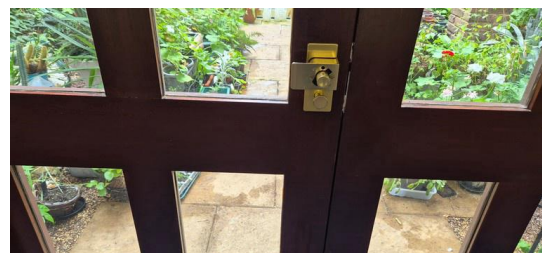


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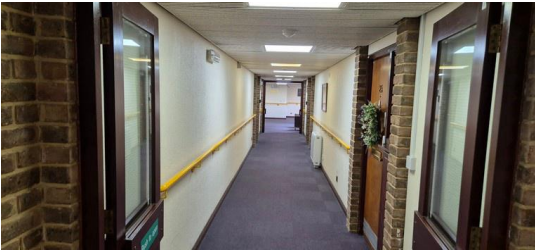


Photo 33



Photo 34



Photo 35



Photo 36



Photo 37



Photo 38



Photo 39



Photo 40



Photo 41



Photo 42



Photo 43



Photo 44



Photo 45



Photo 46



Photo 47



Photo 48



Photo 49



Photo 50



Photo 51



Photo 52



Photo 53



Photo 54



Photo 55



Photo 56



Photo 57



Photo 58



Photo 59



Photo 60

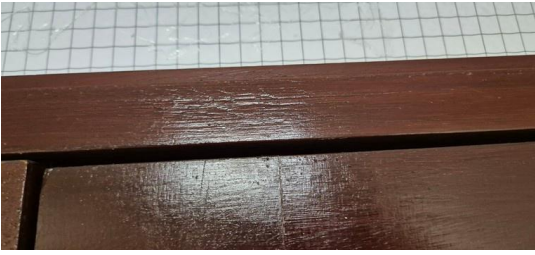


Photo 61



Photo 62



Photo 63



Photo 64



Photo 65



Photo 66



Photo 67



Photo 68



Photo 69



Photo 70



Photo 71



Photo 72



Photo 73



Photo 74



Photo 75



Photo 76



Photo 77



Photo 78



Photo 79



Photo 80



Photo 81



Photo 82



Photo 83

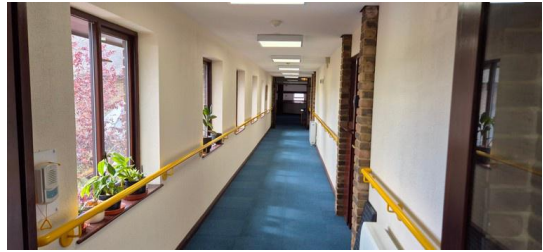


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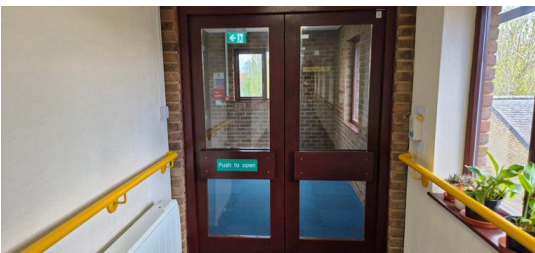


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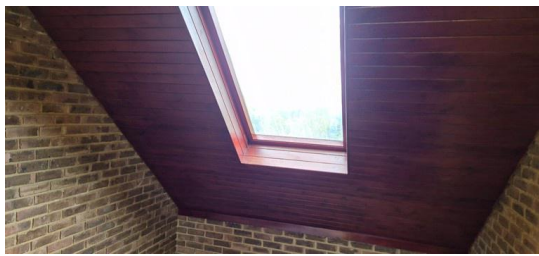


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Photo 88

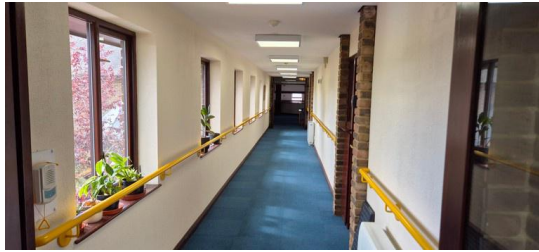


Photo 89



Photo 90



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Photo 92



Photo 93



Photo 94

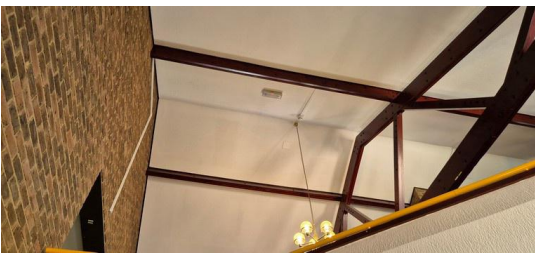


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Photo 96



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Photo 98



Photo 99



Photo 100

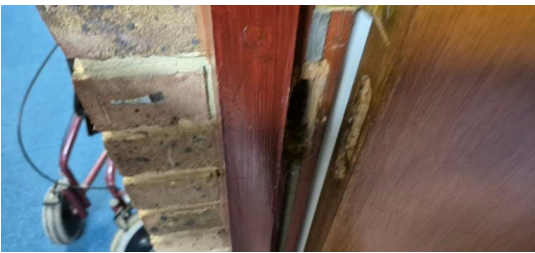


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Photo 102



Photo 103

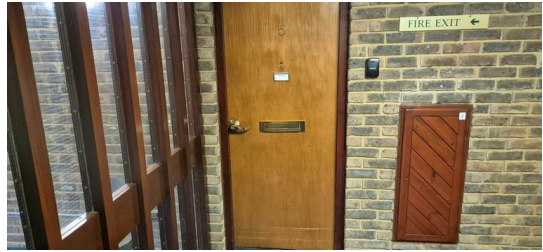


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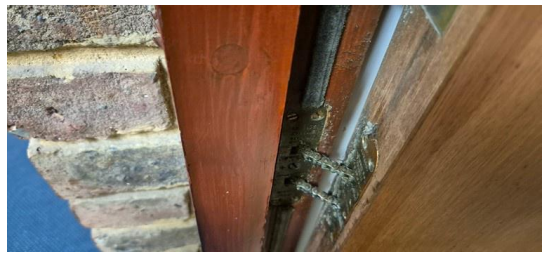


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Photo 107



Photo 108



Photo 109



Photo 110



Photo 111



Photo 112

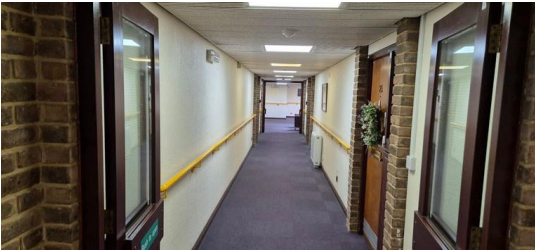


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Photo 121



Photo 122



Photo 123

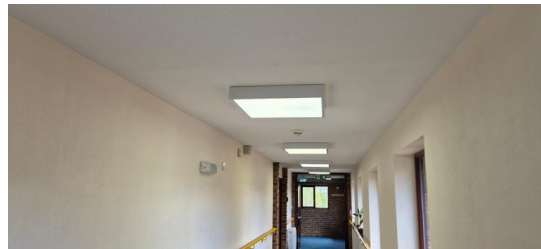


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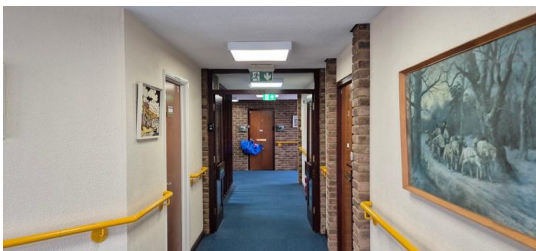


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Photo 128



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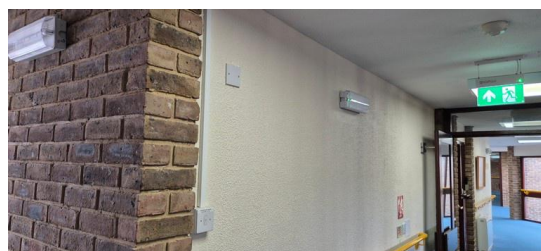


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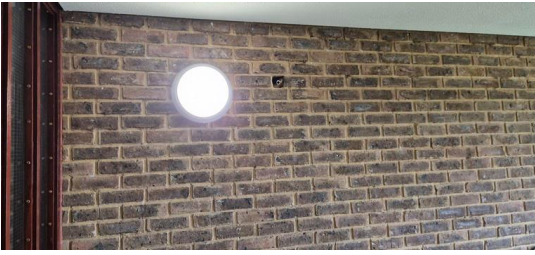


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Photo 132



Photo 133



Photo 134



Photo 135



Photo 136



Photo 137



Photo 138



Photo 139

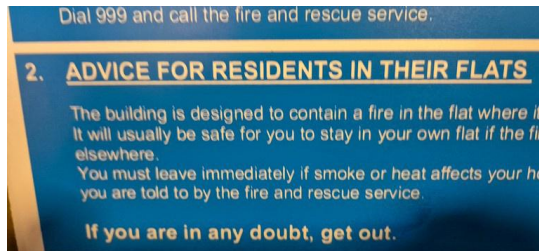


Photo 140



Photo 141



Photo 142



Photo 143



Photo 144



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Photo 146



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Photo 148



Photo 149



Photo 150



Photo 151



Photo 152



Photo 153



Photo 154



Photo 155



Photo 156



Photo 157



Photo 158

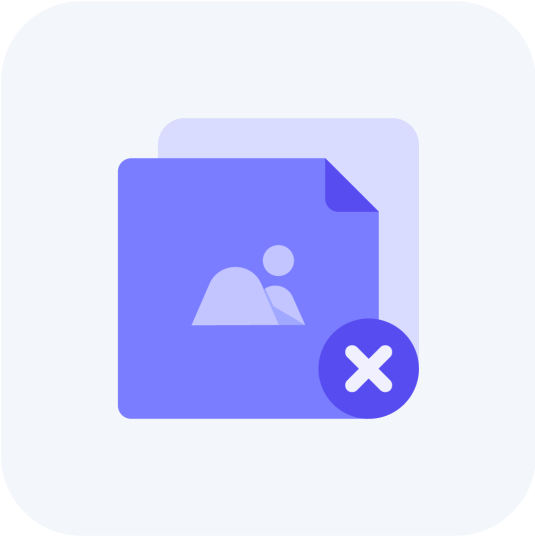


Photo 159



Photo 160



Photo 161



Photo 162

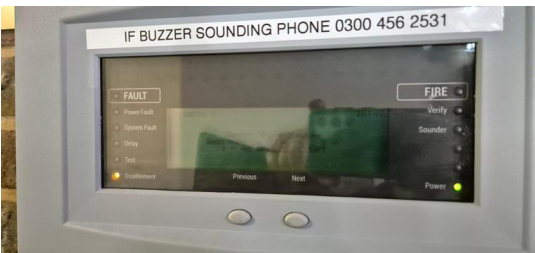


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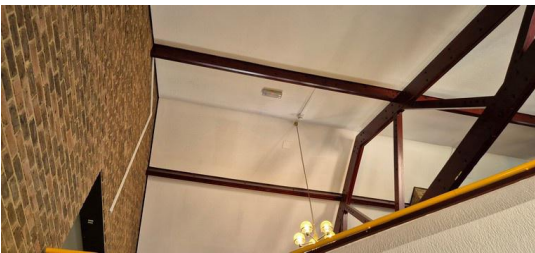


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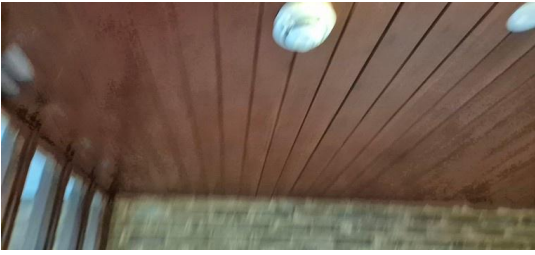


Photo 167



Photo 168



Photo 169



Photo 170



Photo 171



Photo 172



Photo 173



Photo 174



Photo 175



Photo 176



Photo 177



Photo 178



Photo 179

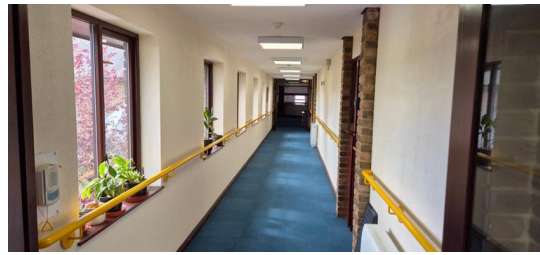


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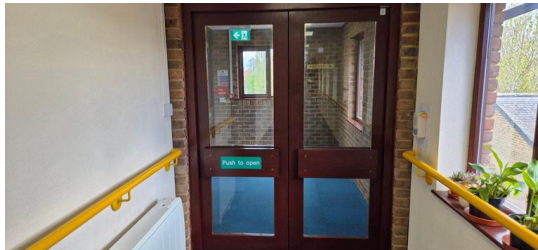


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Photo 182



Photo 183



Photo 184

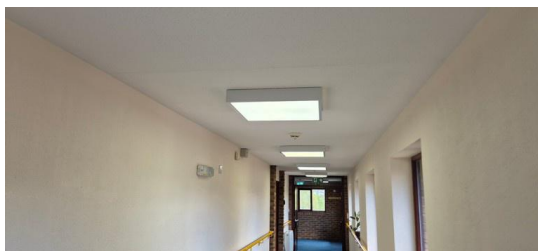


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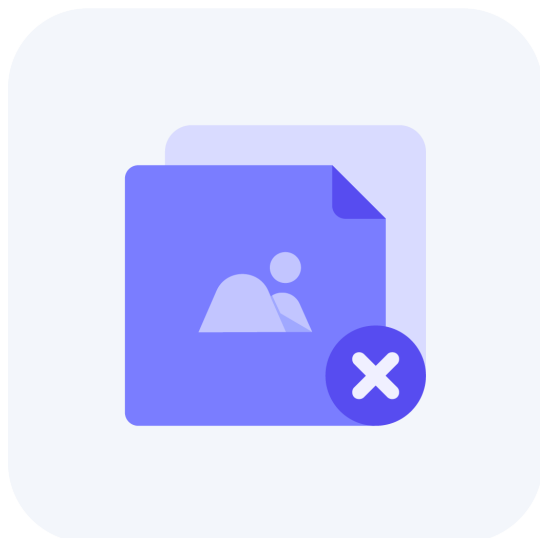


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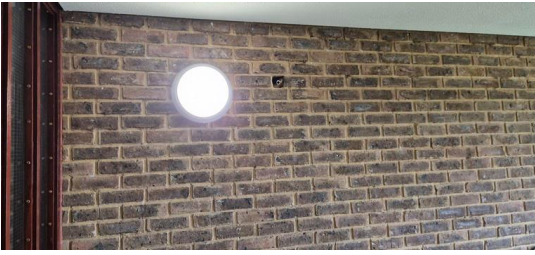


Photo 189



Photo 190



Photo 191



Photo 192

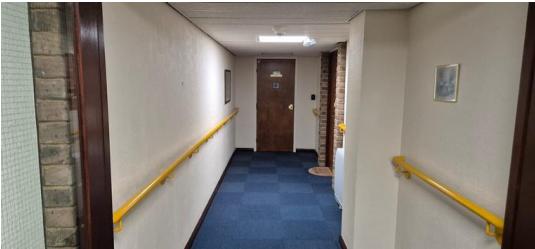


Photo 193



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Photo 195



Photo 196



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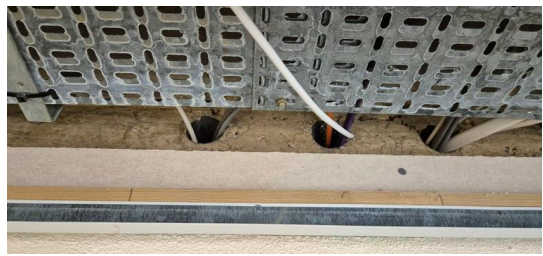


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Photo 201



Photo 202



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Photo 206



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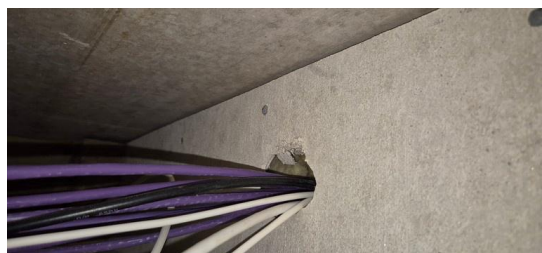


Photo 208



Photo 209



Photo 210



Photo 211



Photo 212



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Photo 214



Photo 215



Photo 216



Photo 217



Photo 218



Photo 219



Photo 220

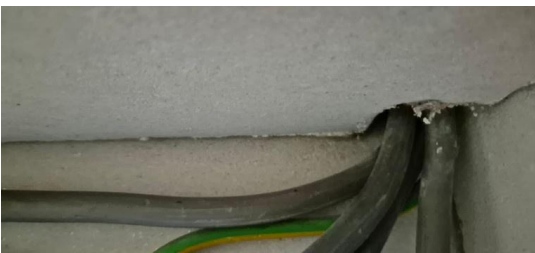


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Photo 222



Photo 223



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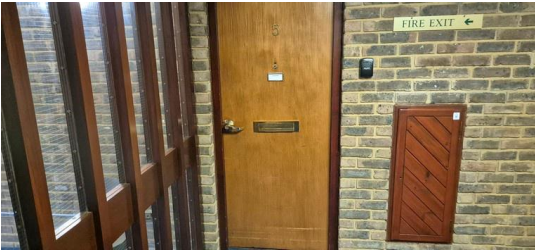


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Photo 226



Photo 227

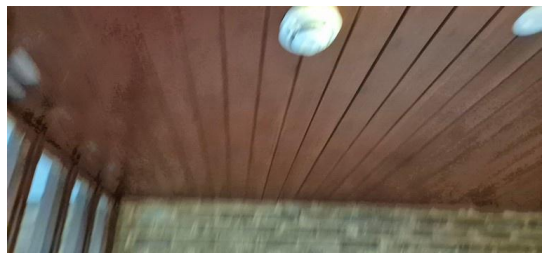


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Photo 231

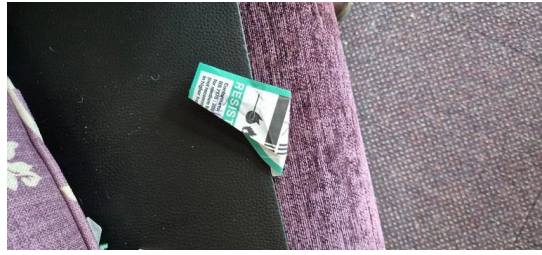


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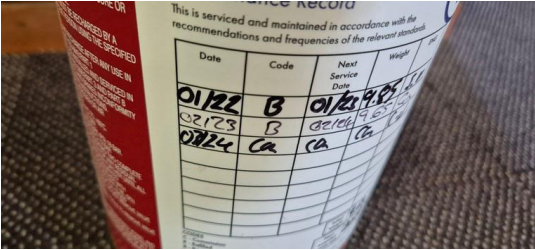


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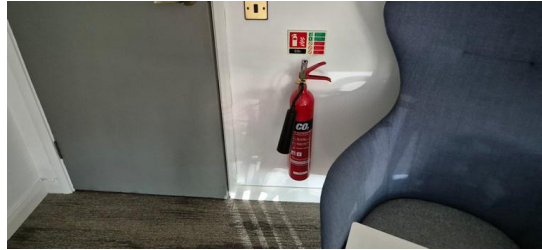


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Photo 235



Photo 236



Photo 237



Photo 238



Photo 239

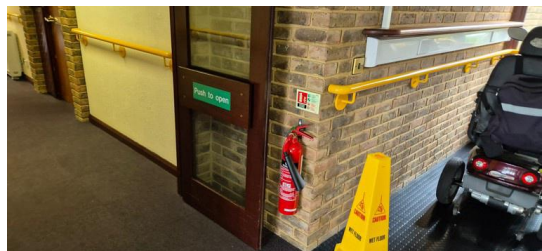


Photo 240



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Photo 242



Photo 243



Photo 244



Photo 245



Photo 246

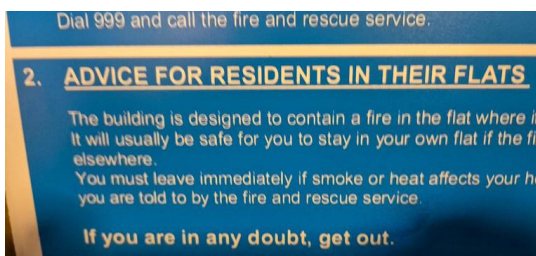


Photo 247



Photo 248